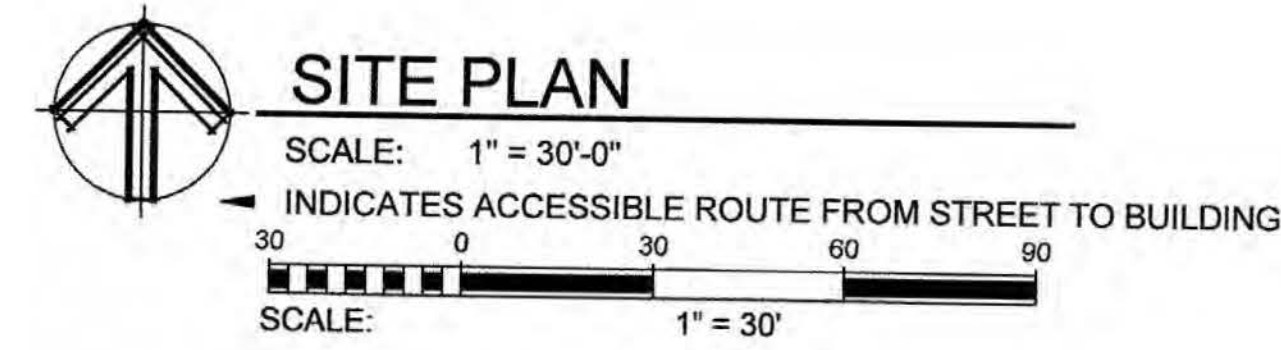
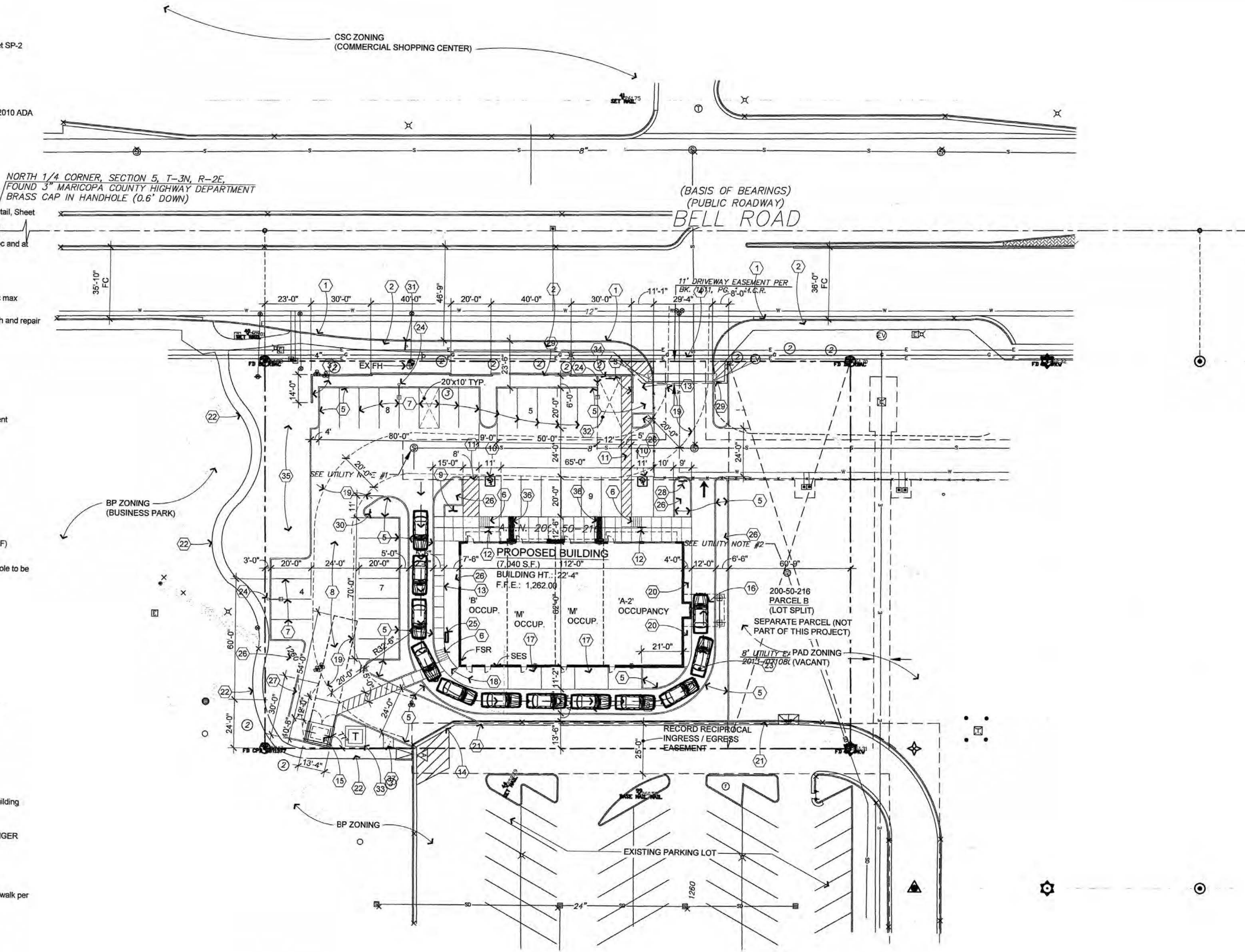


SITE PLAN KEYNOTES

- Existing concrete vertical curb and gutter
- Existing concrete sidewalk, 6' wide
- 4'-0" high, 8" cmu screen wall per details, Sheet SP-2
- Existing concrete curb cut to remain
- 6" concrete curb per Civil drawings
- Ramp up 1:12 max slope with score joints per 2010 ADA Standards
- 4" wide white painted parking stripes
- Asphalt pavement per Civil drawings
- Bike rack for 2 bikes per detail, Sheet SP-2
- Accessible symbol painted on pavement per detail, Sheet SP-2
- 4" wide yellow painted diagonal striping at 24" oc and at perimeter
- Accessible signage per details, Sheet SP-2
- 4" concrete sidewalk with score joints at 5'-0" oc max
- Remove existing concrete curb and gutter. Patch and repair as required
- Single trash enclosure per details, Sheet SP-2
- Metal canopy above at pickup window
- 6" concrete slab, flush with pavement
- 6" concrete sidewalk (3500 psi) flush with adjacent pavement
- Radiuses for firetruck
- 4" raised concrete slab and turn down
- Existing concrete vertical curb and gutter
- Existing walking path
- 260 LF queuing place (minimum allowed = 240 LF)
- Light pole per Electrical drawings. Base of light pole to be painted to match building color.
- Menu board by Owner
- Landscape area
- Single unit truck (30'x11')
- Signage "Do Not Enter"
- 2'-0" wide x width of sidewalk, truncated domes
- Remote FDC
- Existing "Right Lane Turn Only" sign
- 25'x 12' passenger loading area
- Proposed electrical transformer. Paint to match building color.
- Provide signage: "PARKING ONLY FOR PASSENGER LOADING AREA."
- Retention area
- Concrete trough and diamond plate flush with sidewalk per Sheet SP-1
- Additional walking path to tie into the site

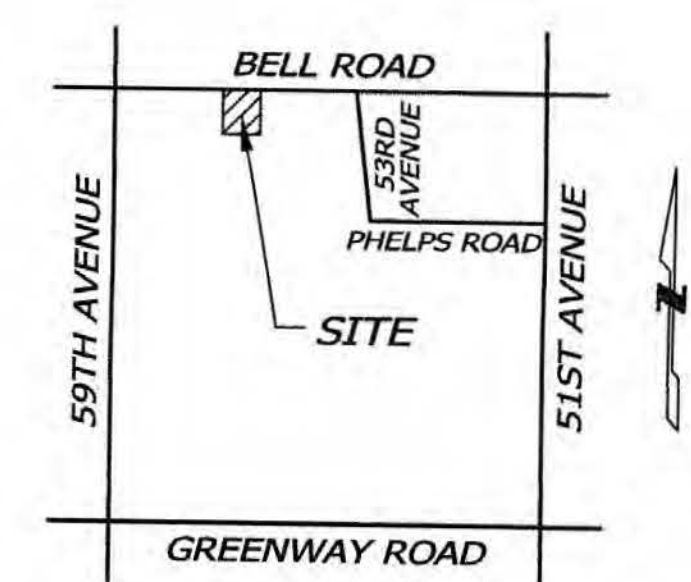


SITE PLAN NOTES

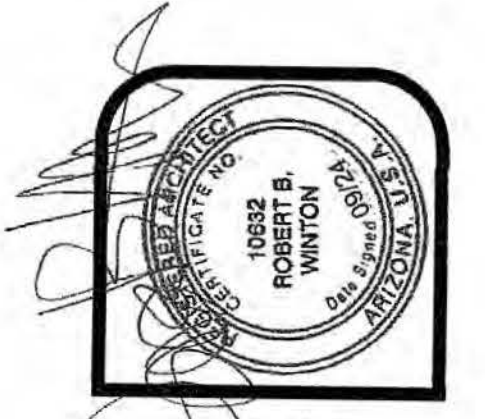
- Fire Department access and water supply requirements shall be in place prior to combustible materials being brought on site
- Pursuant to Chapter 32.5 of the Glendale City Code, all new and existing utilities within or contiguous to this site shall be placed underground
- All utility boxes, vaults and backflow prevention devices shall be painted to match building and screened from public view by a masonry wall or a round topped wire mesh enclosure, painted to match adjacent wall
- Sight distance requirements of COG detail G-447 (local streets) or G-448 (Arterial and collector streets) are met for all driveways and streets
- Streetlights installed by the developer may be required for construction plan approval
- On site lighting will be placed so as to direct the light away from adjacent residential uses and must not exceed one foot candle at the property line. The height of the parking lot lights within 150' of the residential use to be 15'. High pressure sodium (HPS) lighting required adjacent to residence
- On site lighting shall meet outdoor light control ordinance
- Maximum noise level 55 decibels (normal speaking voice) at property line
- Convenience uses shall be subject to a separate citizen participation and conditional use permit process.
- The property owner is responsible for maintaining landscaping in all public rights-of-way adjacent to property

PROJECT DATA

ADDRESS: 5327 W. Bell Rd, Glendale, AZ 85306
 APN: 200-50-216 (Parcel 2A)
 ZONING: PAD (Planned Area Development)
 GENERAL PLAN: LU Designation: BP (Business Park)
 PARCEL SIZE: 56,266 SF (1.29 Acres)
 REPLAT: 11,696 SF (Completed)
 PROPOSED LOT SIZE: 56,266-11,696=44,570 (1.02 Acres)
 BUILDING AREA: Suite 1- 1,488 SF
 Suite 2- 1,520 SF
 Suite 3- 1,520 SF
 Suite 4- 2,512 SF
 Canopies at storefront- 437 SF
 Canopy at drive-thru- 287 SF
 Total= 7,764 SF
 LOT COVERAGE PROVIDED: 7,764/44,570 = 17.4%
 SETBACKS REQUIRED: Bell Road= 20'-0"
 Along South= 0'-0"
 Along West= 0'-0"
 PARKING REQUIRED: Suite 1: 1,488/225 = 6.61
 Suite 2: 1,520/225 = 6.76
 Suite 3: 1,520/225 = 6.76
 Suite 4: 2,512/180 = 13.96
 Total = 35 Spaces
 PARKING PROVIDED: 33 Spaces (with passenger loading)
 (35 x 0.5 = 1.75 or 2 spaces)
 ACCESSIBLE SPACES REQUIRED: 2 Spaces
 (35 x 0.5 = 1.75 or 2 spaces)
 ACCESSIBLE SPACES PROVIDED: 2 Spaces
 CONSTRUCTION TYPE: VB
 FIRE SPRINKLERED: Yes
 OCCUPANCY: Retail= M
 Restaurant= A2
 Restaurant (less than 2600 SF)= B
 ALLOWABLE AREA: 24,000-7,764 SF
 (non separated uses)
 MAX OPEN SPACES REQUIRED: 20%
 MAX OPEN SPACES PROVIDED: 8,837 sf/44,570 sf= 19.8 %
 EMERGENCY LIGHTING: Yes
 FIRE ALARM: Yes
 DESIGNER: Robert Winton
 wintonarch@gmail.com
 LEGAL DESCRIPTION: Parcel No 1- Lot 2A, 2B & 20 of a minor land division- Lot split Lot 2, 5353 Bell Rd according to the plat of record in the office of the county records of Maricopa County, Arizona, recorded February 4, 2008 in recording No 2008-0098200
 OWNER: Frank Lam
 Lin's Distribution Corporation
 2721 W. Willetta St.
 Phoenix, Az. 85009
 flam76@gmail.com
 SCOPE OF WORK: Our client is building a Spec/Shell, multi-tenant retail building. It will include up to four tenants with the owner having the larger suite on the East end of the building for a restaurant with a drive-thru order/pick-up window, any tenant improvements will be a separate permit.



VICINITY MAP
NOT TO SCALE



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 wintonarch@gmail.com

A NEW BUILDING FOR: KIWAMI ON BELL
5327 W. BELL ROAD
GLENDALE, ARIZONA 85306
LOGOS BUILDERS SOUTHWEST

job no. 24114
 drawn LB
 approved RBW
 date 9/25/24

revisions

SP-1