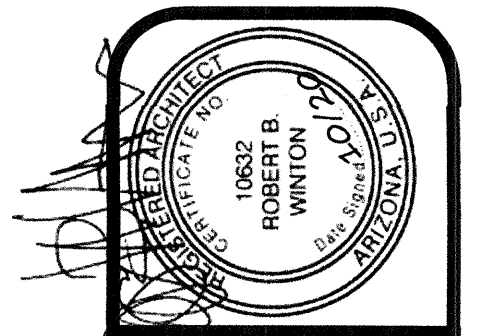


# LIN'S GRAND BUFFET

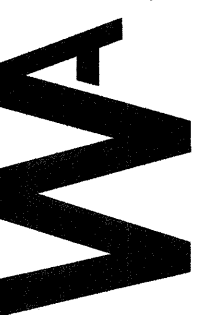
## HWY 287 AT PEARL RD.

### CASA GRANDE, ARIZONA

### LOGOS BUILDERS SOUTHWEST



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**REMODEL FOR RESTAURANT**  
 1564 E. FLORENCE BLVD.  
 CASA GRANDE, ARIZONA  
 LOGOS BUILDERS SOUTHWEST

job no. 20118  
 drawn LB  
 approved RBW  
 date 7/10/20

revisions

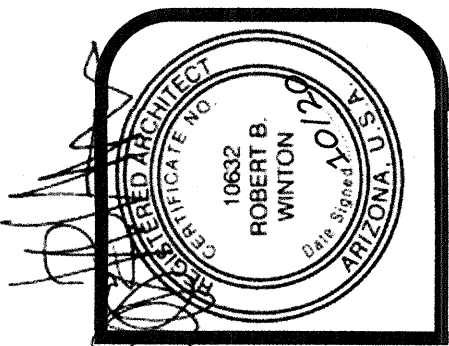
**COVER**  
 47

#### GENERAL CONSTRUCTION DOCUMENT NOTES

- The contractor or sub contractor will inspect the premises prior to his commencing work to check existing working conditions. Should contractor or subcontractor find conditions which he believes would impede his work, then such conditions must be reported immediately to the architect. Failure to so advise will constitute notice that the contractor is fully satisfied and that he intends to perform his obligations with no allowance either in time or money for any impediments to his work.
- Contractor shall verify all dimensions and conditions in field. If dimensional error occurs or conditions not covered on the drawings is encountered, contractor shall notify the architect before commencing that portion of the work.
- Details, notes and finishes shall be applicable to all typical conditions whether or not referenced at all places.
- The contractor shall take all necessary precautionary measures to protect the public and adjacent properties from damages throughout construction. He shall meet the latest requirements of the United States Department of Labor Occupational Safety and Health Standards and comply with: the Manual of Accident Prevention in Construction; all applicable safety and sanitary laws, regulations and ordinances; and any safety rules or procedures established by the Owner for the project.
- The contractor is exclusively responsible for loss or expense resulting from injury on the project site. He assumes all risks in the performance of the work and is responsible for supervision, materials, equipment and labor required to implement the plans and specifications.
- The contractor is solely responsible for supervision, safety, administration and all phases of its contract. He is also responsible for scheduling, coordinating, management and administration or sub consultants.
- The contractor shall verify any new mechanical unit loads at roof and/or suspended below and their locations. Notify the architect of any changes in size or location.
- The contractor shall verify the location of existing utilities and protect the same.
- All work shall comply with all applicable codes and ordinances.
- All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned in accordance with the manufacturer's written specification or instruction unless hereinafter specified to the contrary.
- Dimensions take precedence over scale or construction documents.
- All work shall be executed in a neat and workmanlike manner, acceptable to Owner.
- When work not specifically called out is required to complete the project, it shall be provided and be of the best materials and workmanship.
- Contractor shall guarantee all workmanship and materials for a period of one year from the date of substantial completion (in writing).
- Unless otherwise specifically noted, the contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, transportation, and other facilities and services necessary for proper execution and completion of the work.
- The contractor shall pay for all fees, permits, etc. necessary for proper completion of work. (U.N.O.)
- The contractor warrants to the owner and the architect that all materials and equipment furnished under this contract will be new unless otherwise specified, and that all work will be good quality, free from faults and defects and in conformance with the construction documents. All work not conforming to these standards may be considered defective. It is understood that no inferior or non-conforming work or materials will be accepted whether discovered at the time they are incorporated in the work or at any time before or after final acceptance. If required by the architect, the contractor shall furnish satisfactory evidence as to the kind and quality of materials and equipment.
- The warranties and guarantees provided in the construction documents shall be in addition to and not in limitation of any other warranty or guaranty or remedy required by law or by the construction documents.
- The contractor is to provide warning signs and lights, barricades, railings and other safeguards.
- The design professional's inspection for compliance with the plans and specifications shall NOT be deemed supervision or control of construction means or methods employed by the contractor or any subcontractor.

#### SCHEDULE OF SHEETS

Cover	General Construction Notes, Schedule of Sheets
SP-1	Site Plan, Project Data
D-1	Demolition Plan
A-1	Foundation Plan
A-2	Floor Plan
A-2.1	Overall Floor Plan, Keynotes
A-3	Exterior Elevations
A-4	Building Sections
A-4.1	Building Sections
S-1	General Structural Notes
S-2	Footing Details
S-3	Foundation Plan
M-1	Mechanical Floor Plan
M-2	Mechanical Notes, Schedules
P-1	Plumbing Floor Plan-Waste, Vent piping
P-2	Plumbing Floor Plan- Water Piping
P-3	Plumbing Floor Plan- Gas Piping
P-4	Waste and Vent Diagram, Notes
E-0.0	Electrical Specifications
E-0.1	Electrical Equipment Requirements
E-1.0	Electrical Power Plan
E-2.0	Electrical Lighting Plan
E-3.0	Electrical HVAC Plan
E-4.0	Panel Board Schedule
E-5.0	One Line Diagram
FS1.0	Equipment Floor Plan
FS1.1	Equipment Schedule
FS1.2	Equipment Schedule
FS2.0	Plumbing Rough In Plan
FS2.1	Plumbing Rough In Plan
FS2.2	Plumbing Rough In Plan
FS2.3	Plumbing Rough In Plan
FS3.0	Electrical Rough In Plan
FS4.0	Mechanical Rough In Plan
FS4.1	Mechanical Specifications
FS4.2	Mechanical Specifications
FS4.3	Mechanical Specifications
FS4.4	Mechanical Specifications
FS4.5	Mechanical Specifications
FS4.6	Mechanical Specifications
FS4.7	Mechanical Specifications
FS4.8	Mechanical Specifications
FS4.9	Mechanical Specifications
FS4.10	Mechanical Specifications
FS4.11	Mechanical Specifications
FS5.0	Special Conditions Plan
FS6.0	Walk In Specifications



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**WA**

**REMODEL FOR RESTAURANT**  
 HWY 287 AT PEARL RD.  
 CASA GRANDE, ARIZONA  
 LOGOS BUILDERS SOUTHWEST

job no. 20118  
 drawn LB  
 approved RBW  
 date 7/10/20

revisions  
 OWNER 10/23/20  
 OWNER 1/18/21

**SP-1**

**PROJECT DATA**

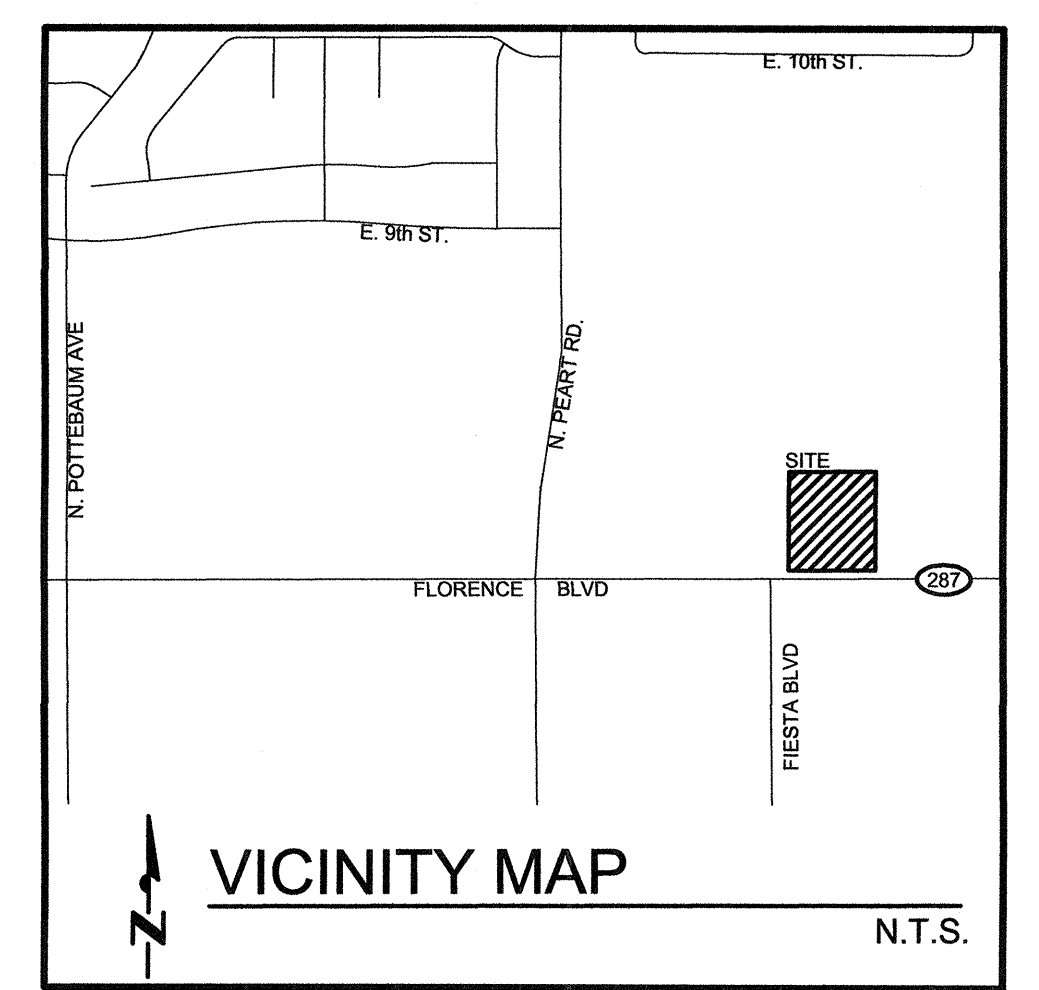
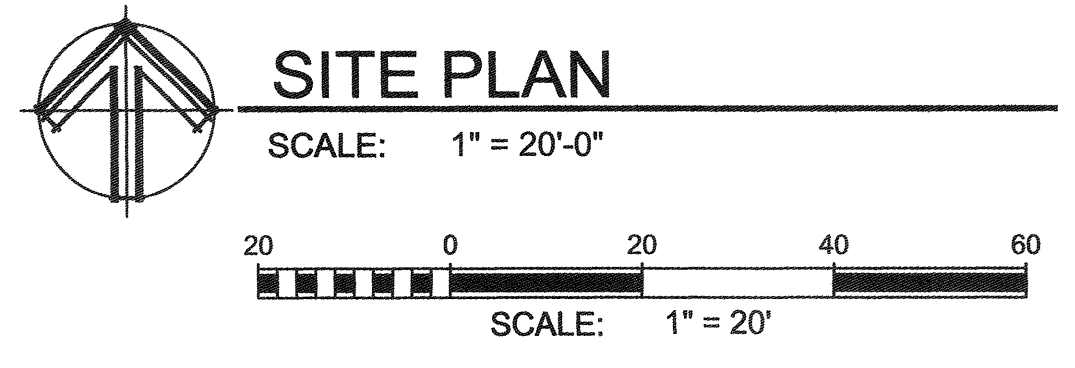
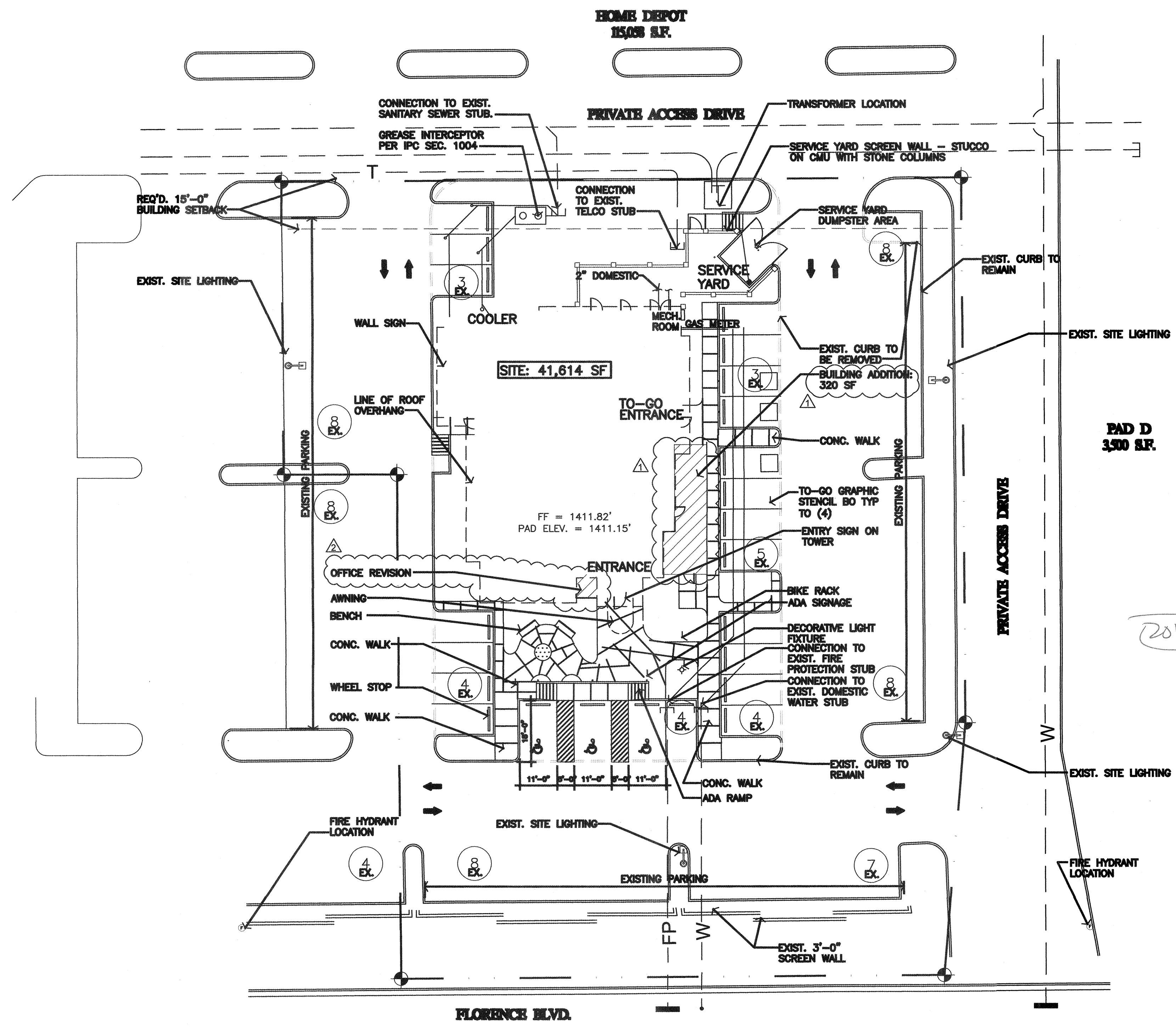
ADDRESS: 1564 E. Florence Blvd  
 ZONING: PAD  
 CONSTRUCTION TYPE: VB, AFES  
 ALLOWABLE AREA: 24,000 SF  
 OCCUPANCY: A-3  
 BUILDING HEIGHT: 26'-4"  
 BUILDING AREA: Existing= 5132 SF  
 New Addition= 329 SF  
 Total= 5,461 SF  
 PARKING REQUIRED: 90% x 5461=4915/100= 50 Spaces  
 PARKING PROVIDED: 62 Spaces  
 ACCESSIBLE SPACES REQUIRED: 3 Spaces  
 ACCESSIBLE SPACES PROVIDED: 3 Spaces  
 SEATING CAPACITY: TBD  
 LEGAL DESCRIPTION: PAD 'C' - Casa Grande Market

**APPLICABLE CODES**

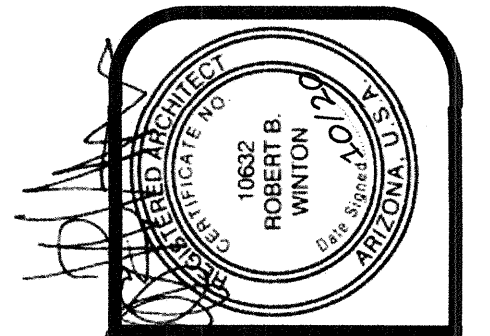
- 2017 National Electrical Building Code (NEC)
- 2018 International Building Code (IBC)
- 2018 International Energy Conservation Code (IECC)
- 2018 International Existing Building Code (IEBC)
- 2018 International Fire Code (IFC)
- 2018 International Fuel Gas Code (IFGC)
- 2018 International Mechanical Code (IMC)
- 2018 International Plumbing Code (IPC)
- City of Casa Grande Building and Technical Administration Code, 2019 Edition

**SCOPE OF WORK**

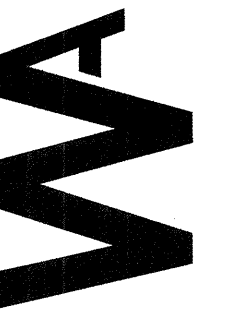
*This is an existing Restaurant that is being converted to a Chinese Restaurant. The inside was based on drawings could be created for a new permit. Work includes Structural, Architectural, Electrical, Mechanical/Plumbing and Kitchen Design Only.*



20118



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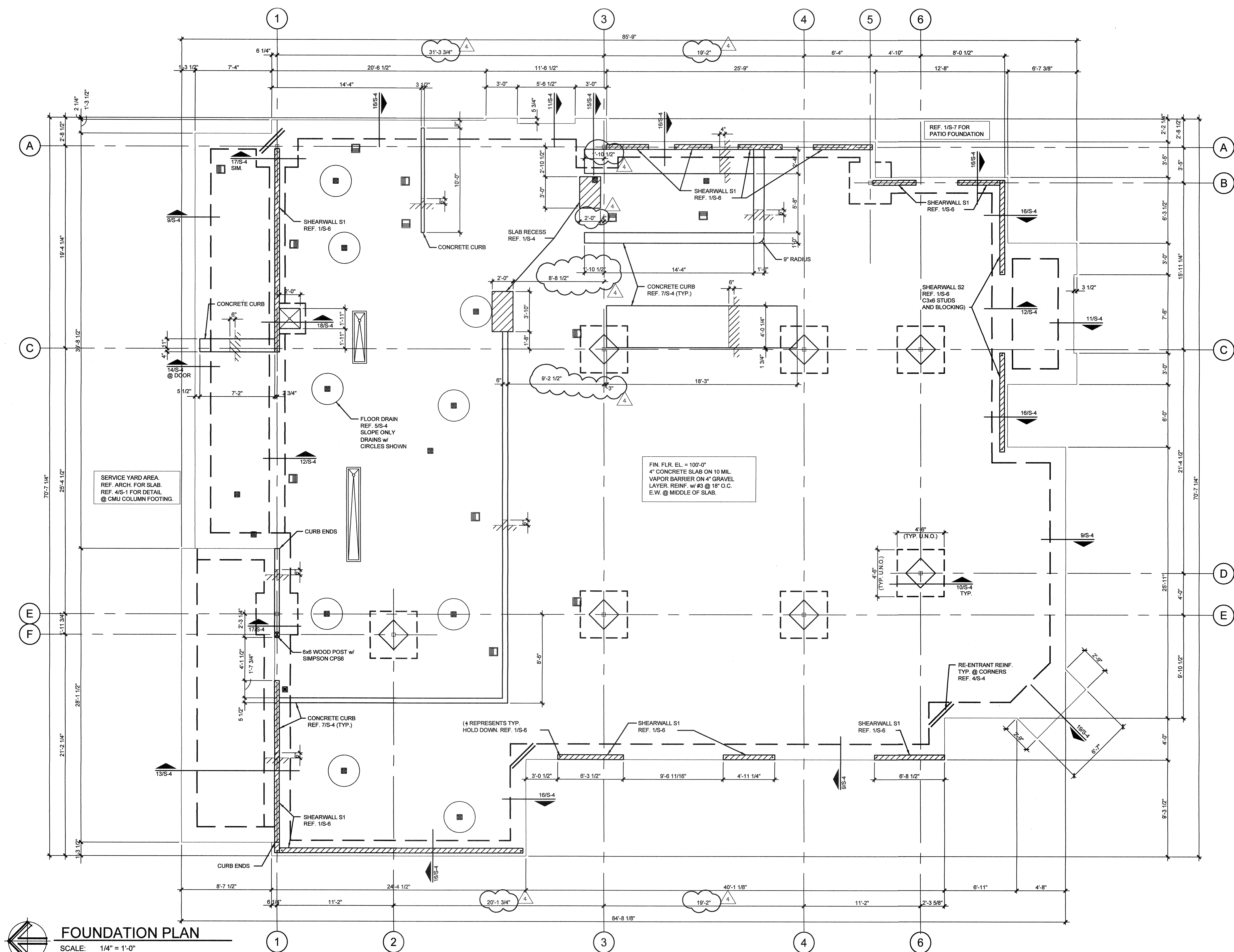


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 LOGOS BUILDERS SOUTHWEST

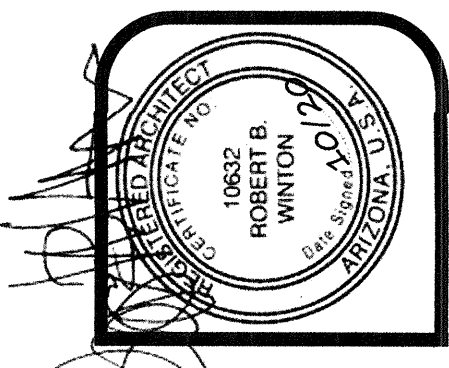
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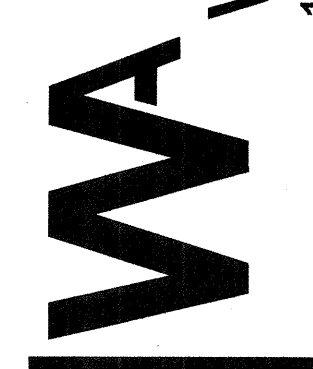
**A-1**



**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"



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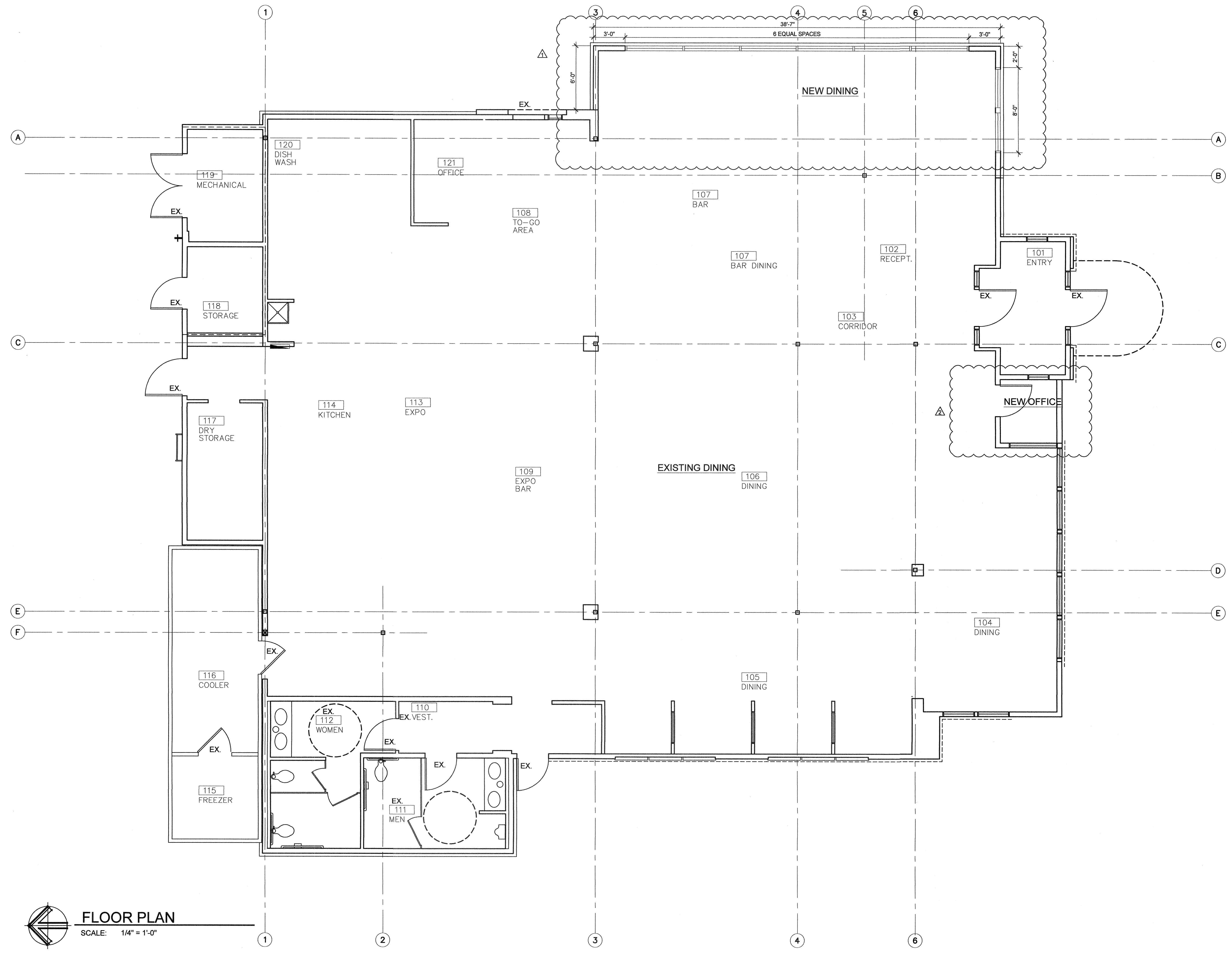


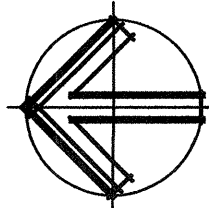
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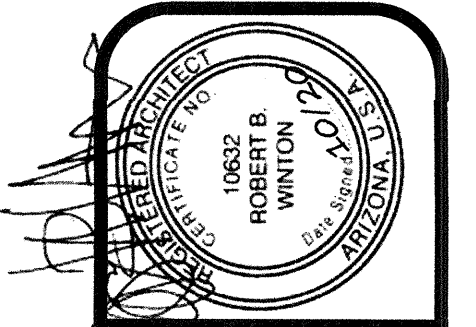
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 Δ OWNER 10/23/20  
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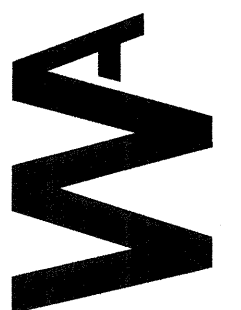
**A-2**



 **FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

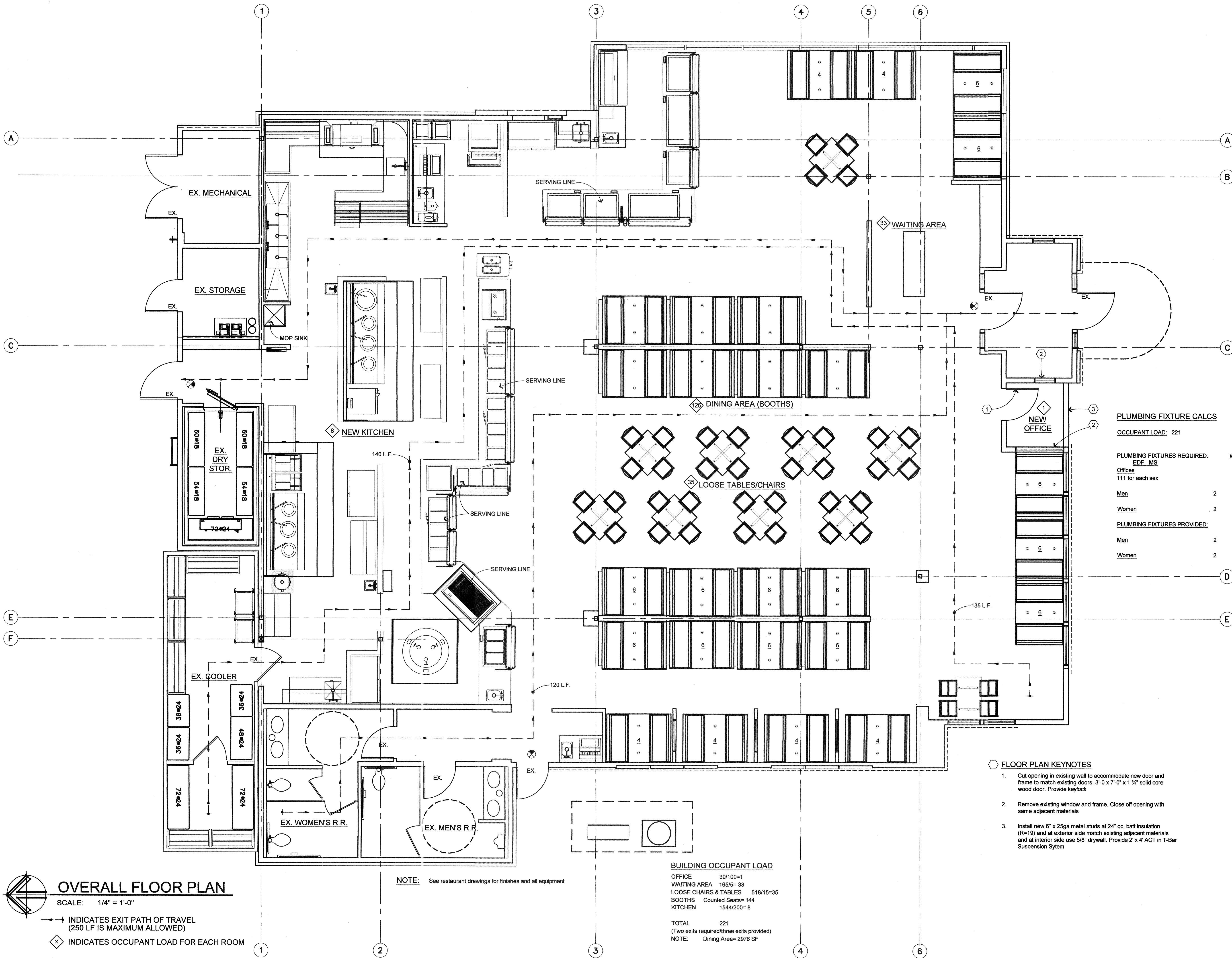


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**PLUMBING FIXTURE CALCS**

OCCUPANT LOAD: 221

PLUMBING FIXTURES REQUIRED:	WC/URINAL/LAV		
EDF MS			
Offices			
111 for each sex			
Men	2	1	1
Women	2	1	-
<b>PLUMBING FIXTURES PROVIDED:</b>			
Men	2	2	1
Women	2	2	-

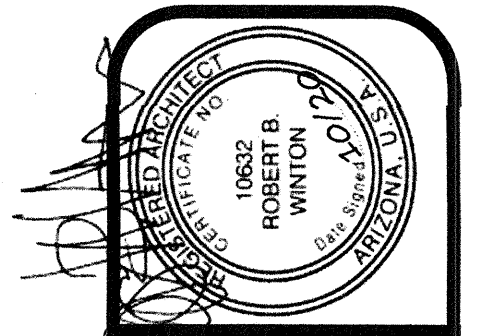
- FLOOR PLAN KEYNOTES**
1. Cut opening in existing wall to accommodate new door and frame to match existing doors. 3'-0" x 7'-0" x 1 1/2" solid core wood door. Provide keylock
  2. Remove existing window and frame. Close off opening with same adjacent materials
  3. Install new 6" x 25ga metal studs at 24" oc, batt insulation (R=19) and at exterior side match existing adjacent materials and at interior side use 5/8" drywall. Provide 2" x 4" ACT in T-Bar Suspension System

**BUILDING OCCUPANT LOAD**

OFFICE	30/100=1
WAITING AREA	165/5= 33
LOOSE CHAIRS & TABLES	518/15=35
BOOTHS	Counted Seats= 144
KITCHEN	1544/200= 8
<b>TOTAL</b>	<b>221</b>
(Two exits required/three exits provided)	
NOTE:	Dining Area= 2976 SF

**OVERALL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 → INDICATES EXIT PATH OF TRAVEL (250 LF IS MAXIMUM ALLOWED)  
 x INDICATES OCCUPANT LOAD FOR EACH ROOM

NOTE: See restaurant drawings for finishes and all equipment



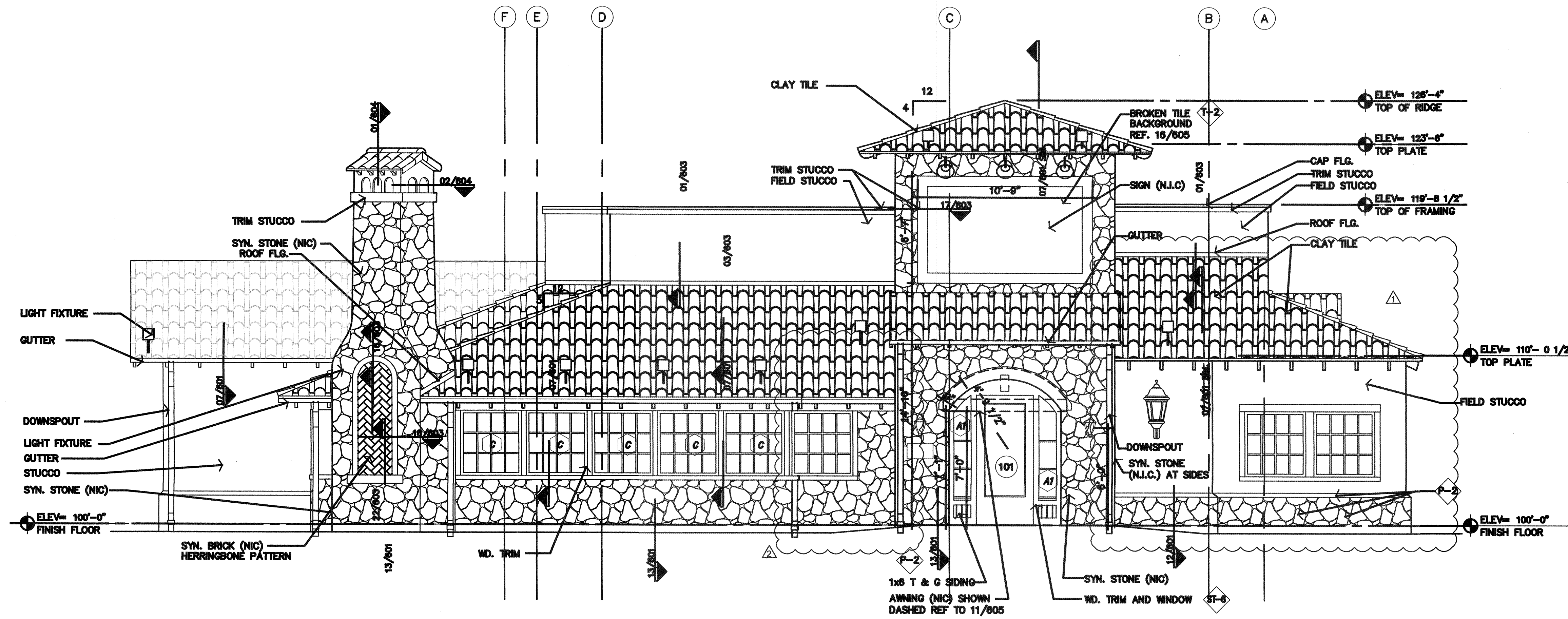
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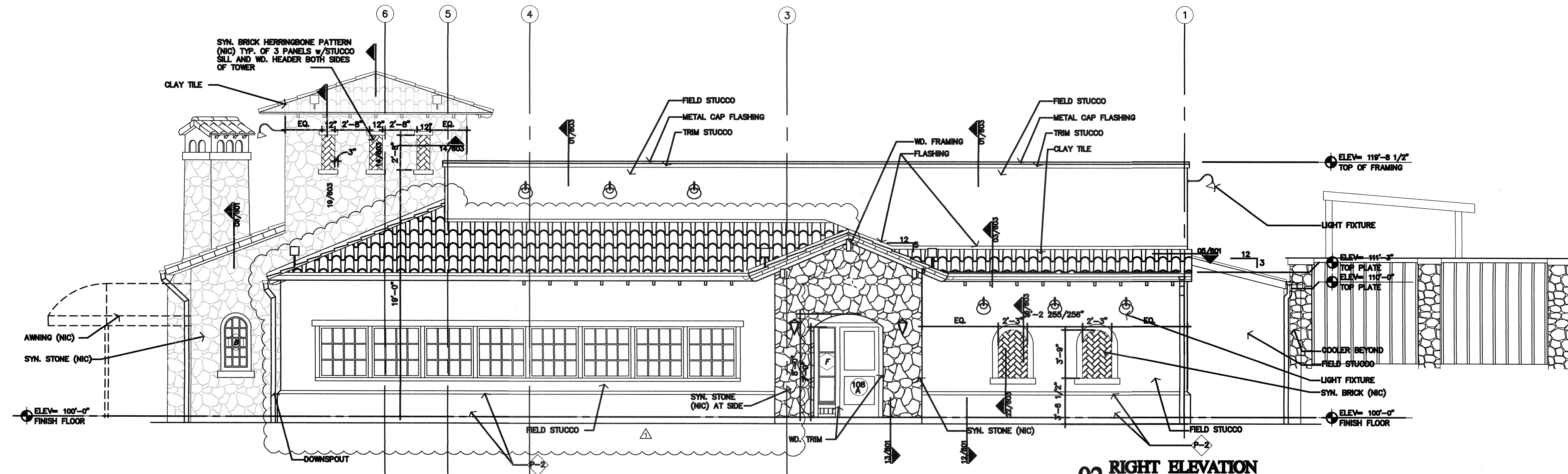
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 Δ OWNER 10/23/20  
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**A-3**



**01 FRONT ELEVATION**  
 1/4"=1'-0"



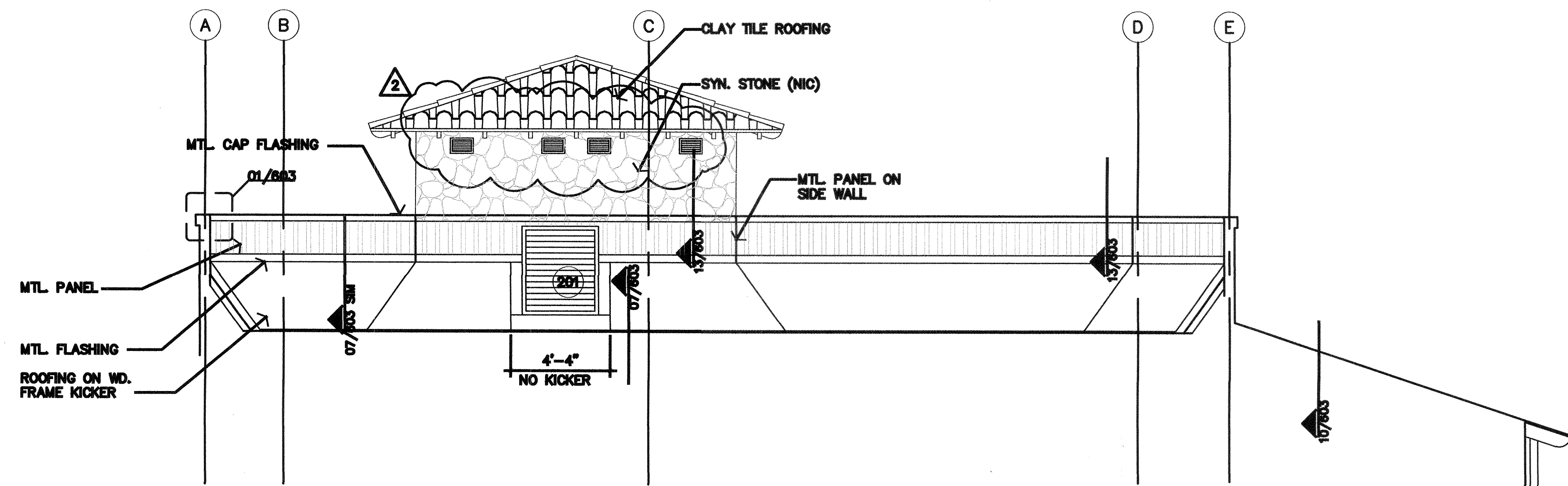
**02 RIGHT ELEVATION**  
 1/4"=1'-0"

**TYPICAL FINISHES UNLESS NOTED OTHERWISE**

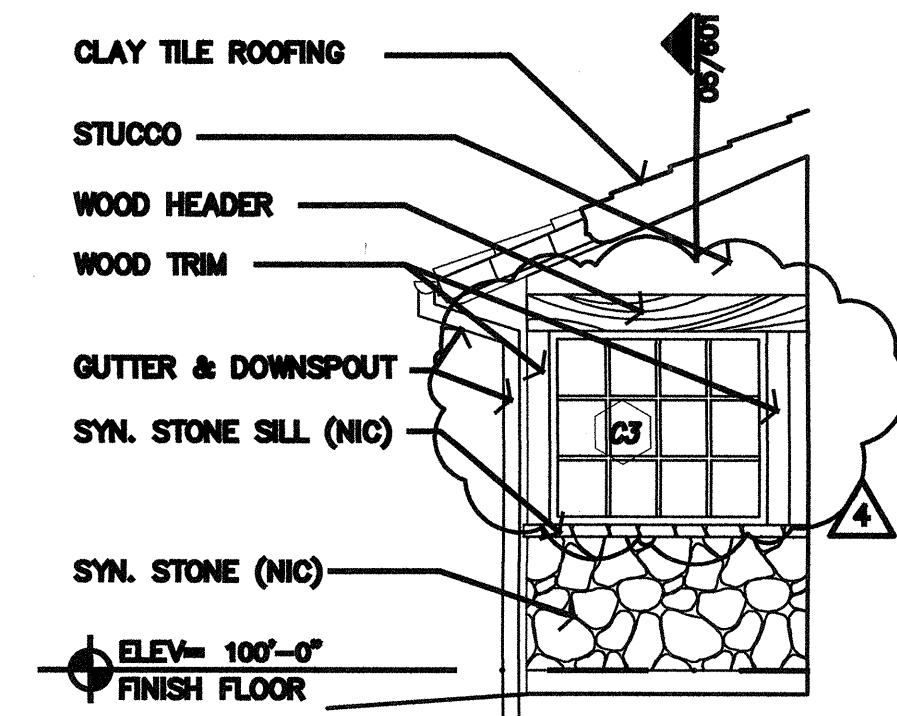
FIELD STUCCO	P-1
TRIM/SILL STUCCO	P-2
SYNTHETIC STONE	SN-1
EXTERIOR WOOD TRIM	ST-1
EXTERIOR DOORS	ST-6
EXTERIOR WINDOWS AND FRAME	P-10
WINDOW SHUTTERS	P-3
PARAPET CAP FLASHING	P-2
ROOF FLG.-SLOPE ROOF TO PARAPET	P-1
ROOF FLG.-SLOPE ROOF TO STONE	P-2
ROOF MOUNTED LIGHTS	P-6
RAFTER TAILS, FASCIA AND SOFFIT BELOW	
COMP. SHINGLE & CLAY TILE RFG.	ST-1
LOUVERS/VENTS	MATCH ADJACENT WALL FINISH
GUTTERS/DOWNSPOUTS	GALVANIZED FINISH

**GENERAL NOTES**

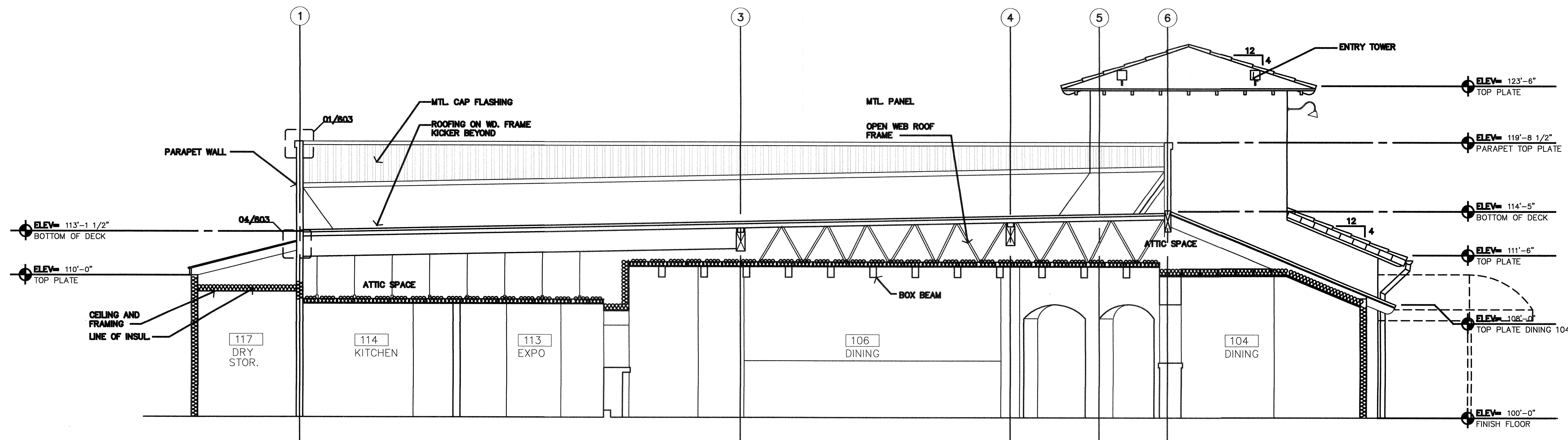
- ALL DIMENSIONS ARE TO ROUGH FRAME UNLESS NOTED OTHERWISE.
- ALL FLASHING TO BE PAINTED TO MATCH ADJACENT WALL PAINT COLOR UNLESS NOTED OTHERWISE.



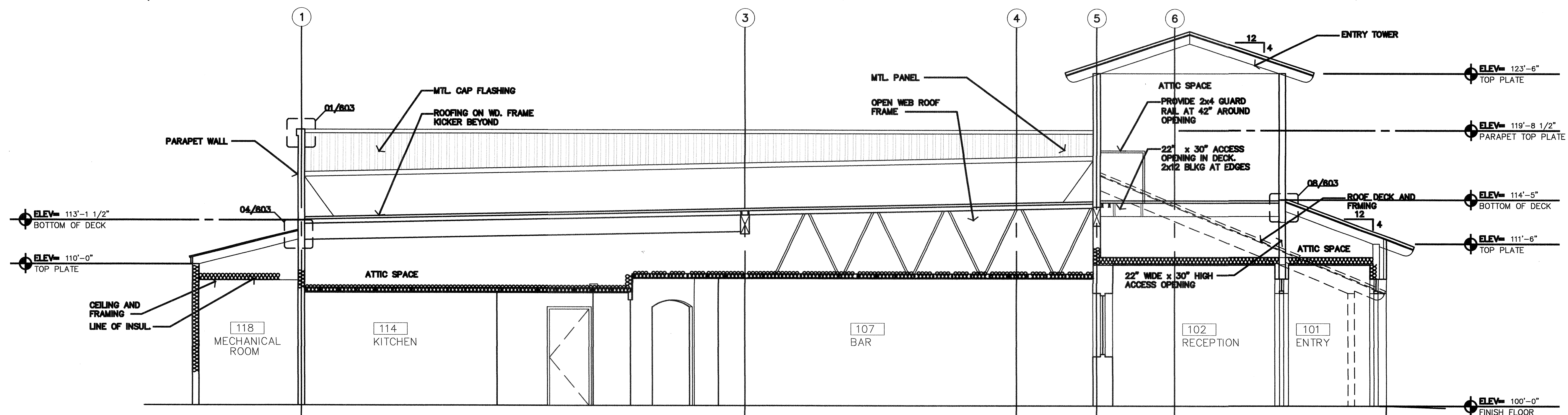
**02 TOWER BACKSIDE ELEVATION**  
1/4"=1'-0"



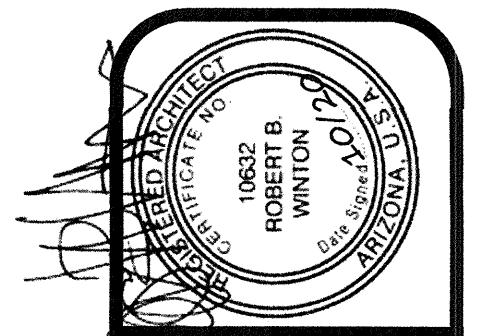
**01 PARTIAL ELEVATION**  
1/4"=1'-0"



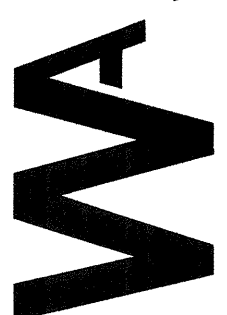
**03 BUILDING SECTION**  
1/4"=1'-0"



**04 BUILDING SECTION**  
1/4"=1'-0"



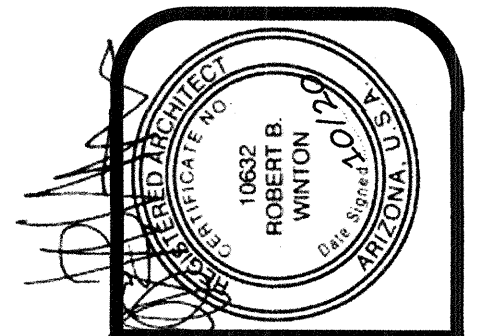
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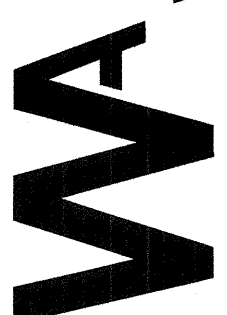
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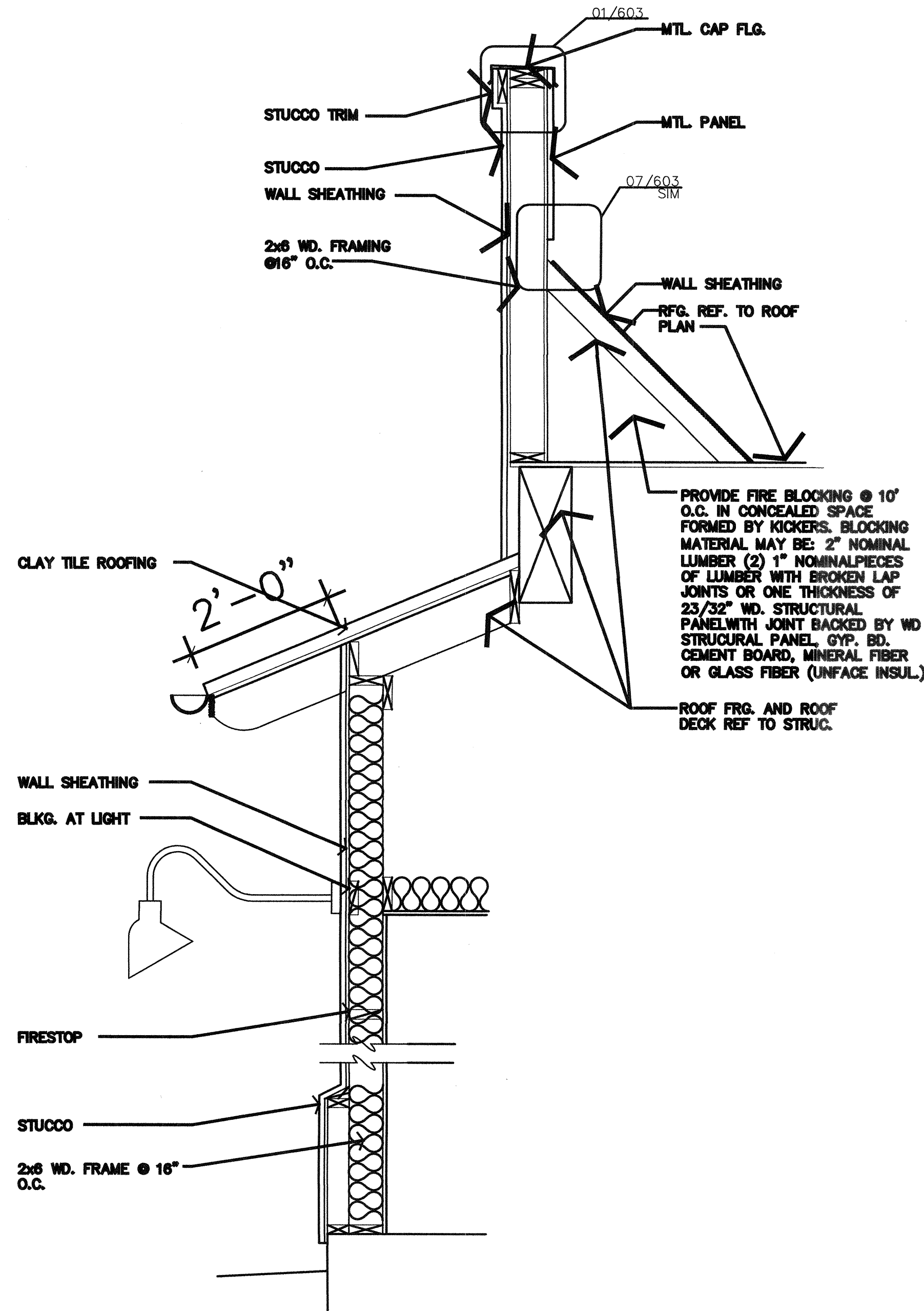


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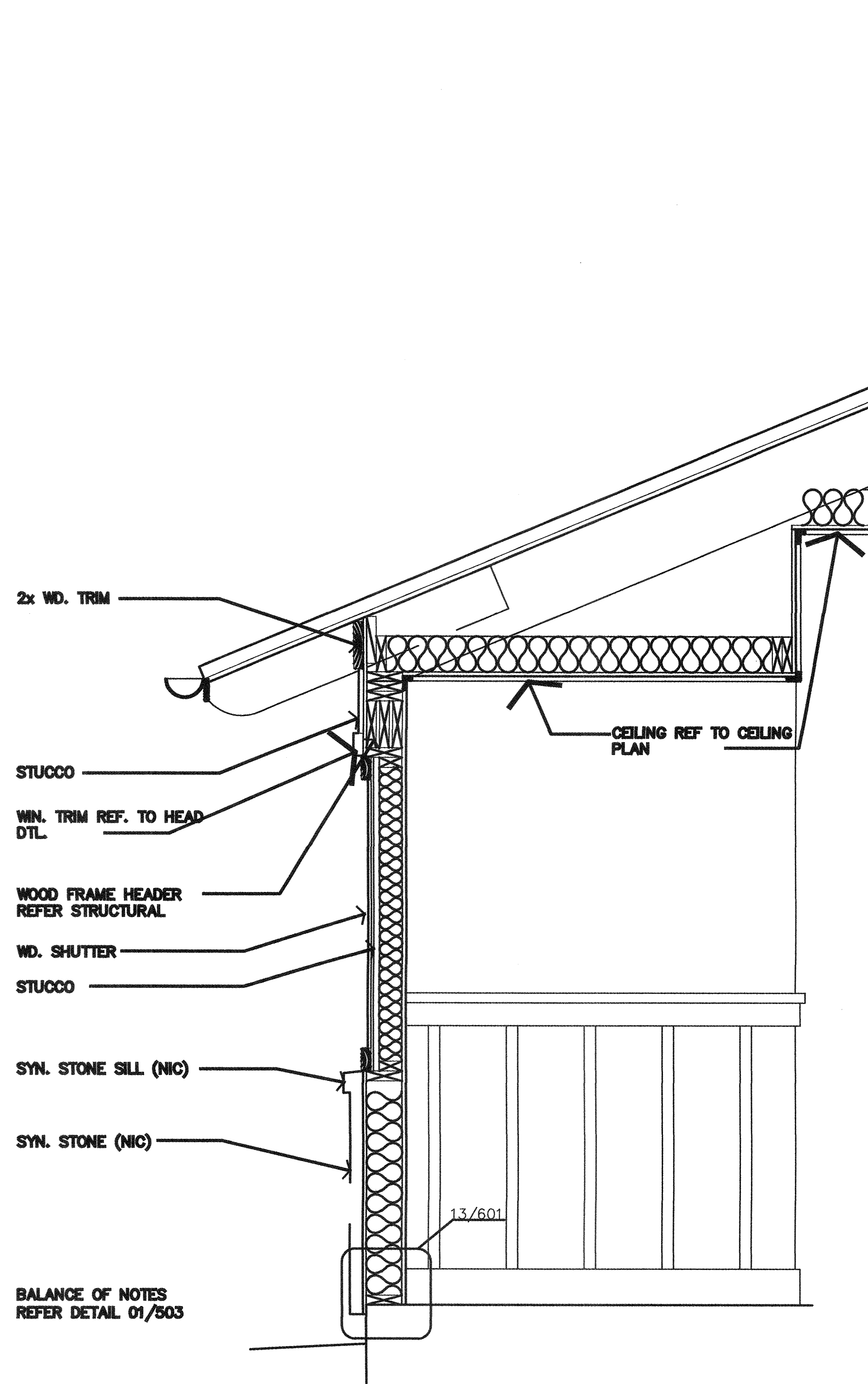
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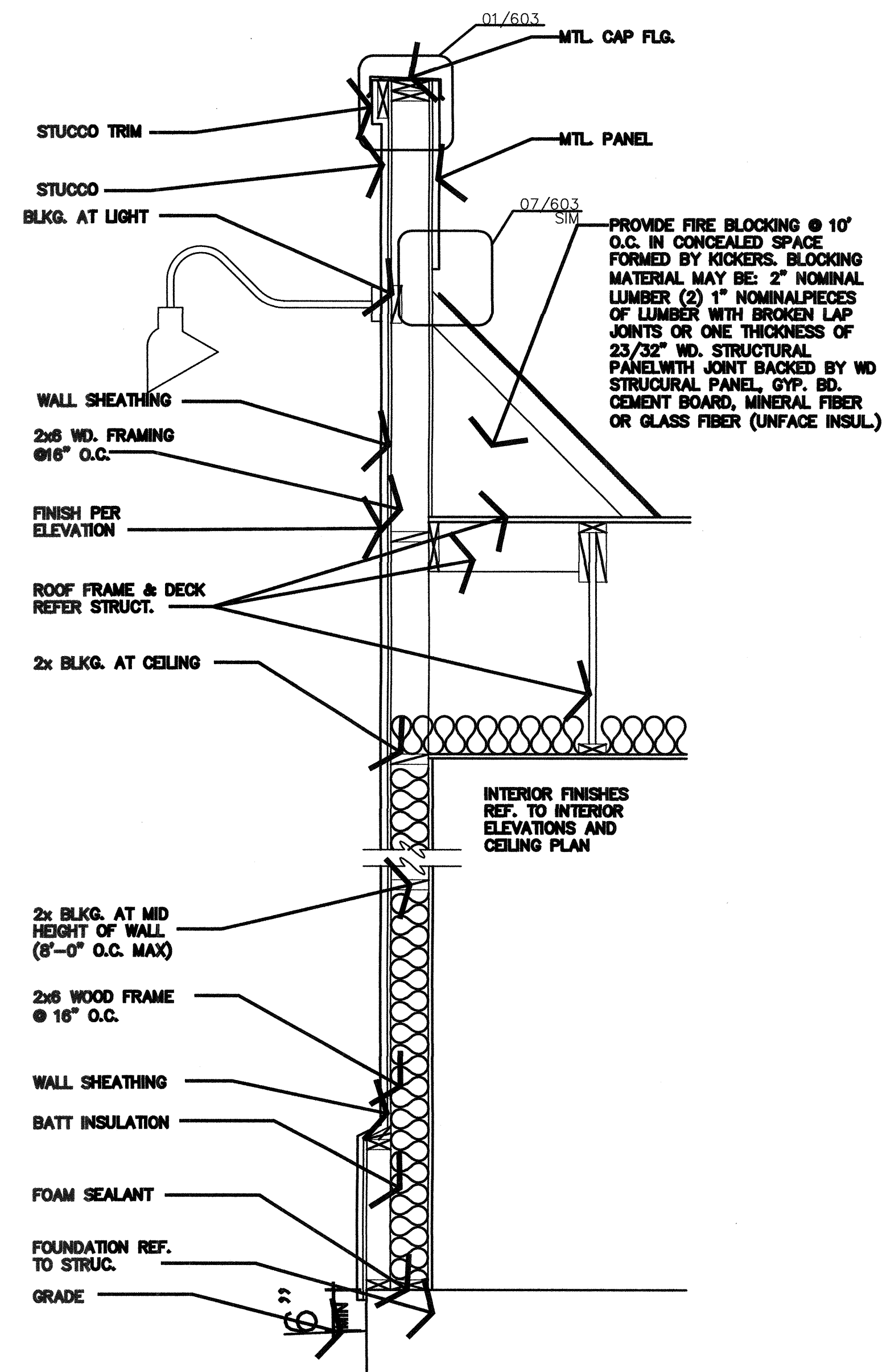
**A-4.1**



**03 SECTION AT DISHROOM**  
 3/4"=1'-0"



**02 WALL SECTION AT WD. SHUTTERS**  
 3/4"=1'-0"



**01 WALL SECTION AT BAR**  
 3/4"=1'-0"