

# WANDERIST OFFICE & RETAIL

## 3743 E. INDIAN SCHOOL ROAD, PHOENIX, AZ 85018

### ABBREVIATIONS

A	AIR	MICRO	MICROWAVE
A/C	AIR CONDITIONING	MIN	MINIMUM
ACT	ACOUSTICAL TREATMENT (CEILING TILE OR PANEL)	MIR	MIRROR
AD	AREA DRAIN	MISC	MISCELLANEOUS
ADD	ADDENDUM	MM	MILLIMETER - S
ADJ	ADJUSTABLE	MTL	METAL
AFF	ABOVE FINISH FLOOR	MULL	MULLION
AL, ALUM	ALUMINUM	N	NORTH
ALT	ALTERNATE	NA	NOT APPLICABLE
ANOD	ANODIZED	NIC	NOT IN CONTRACT
APPROX	APPROXIMATE	NO, #	NUMBER
ARCH	ARCHITECT, -URAL	NOM	NOMINAL
BETW	BETWEEN	NTS	NOT TO SCALE
BLDG	BUILDING	OC	ON CENTER
BOC	BOTTOM OF CURB	OD	OVERFLOW DRAIN
BOF	BOTTOM OF FOOTING	OFCl	OWNER FURNISHED/CONTRACTOR INSTALLED
CAB	CABINET	OFI	OWNER FURNISHED & INSTALLED
CARD	CARD READER	OH	OPPOSITE HAND
CB	CATCH BASIN	OPP	OPPOSITE
CEM	CEMENT	OSB	ORIENTED STRANDBOARD
CJ	CONTROL JOINT	OZ	OUNCE
CL	CENTERLINE	PCF	POUNDS PER CUBIC FEET
CLG	CEILING	PERF	PERFORATE, -D
CLO	CLOSET	PL	PLATE
CLR	CLEAR, -ANCE	PLAM	PLASTIC LAMINATE
CM	CENTIMETER	PLAS	PLASTER
CMU	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
COL	COLUMN	PNL	PANEL
CONC	CONCRETE	PNT, P	PAINT, -ED
CONSTR	CONSTRUCTION	PORC	PORCELAIN
CONSTR	CONSTRUCTION	POS	POSITION
CORR	CORRIDOR	PREFAB	PREFABRICATE, -D
CTR	CENTER	PTN	PARTITION
DEMO	DEMOLISH, DEMOLITION	R	RECEPTACLE
DEP, DEPR	DEPRESSED	R	RISER
DET, DTL	DETAIL	RAD	RADIUS
DIA	DIAMETER	RCP	REFLECTED CEILING PLAN
DIAG	DIAGONAL	RD	ROOF DRAIN
DIM	DIMENSION	REF	REFERENCE
DN	DOWN	REFL	REFLECT, -ED, -IVE, -OR
DP	DAMPPOOFING	REFR	REFRIGERATOR
DWG	DRAWING	REINF	REINFORCE
E	EAST	REM	REMOVE
EA	EACH	REQ'D	REQUIRED
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	REV	REVISE, REVISION
EJ	EXPANSION JOINT	R	ROUGH OPENING
EL	ELEVATION	S	SOUTH
ELEC	ELECTRICAL	SCHED	SCHEDULE
ELEV	ELEVATOR	SEAL	SEALANT
EMER	EMERGENCY	SECT	SECTION
EP	ELECTRICAL PANEL	SHT	SHEET
EPS	EXPANDED POLYSTYRENE	SHTHG	SHEATHING
EQ	EQUAL	SHWR	SHOWER
EQUIP	EQUIPMENT	SIL	SILICONE
EX, (E)	EXISTING	SIM	SIMILAR
EXP	EXPOSED	SPEC	SPECIFICATION (S)
EXT	EXTERIOR	SPF	SPRAY POLYURETHANE FOAM
FA	FIRE ALARM	SPK	SPEAKER
FD	FLOOR DRAIN	SPR	SINGLE-PLY ROOFING
FDN	FOUNDATION	SQ	SQUARE
FE	FIRE EXTINGUISHER	SST, SS	STAINLESS STEEL
FEC	FIRE EXTINGUISHER CABINET	STC	SOUND TRANSMISSION CLASS
FF	FINISHED FLOOR	STD	STANDARD
FHC	FIRE HOSE CABINET	STL	STEEL
FIN	FINISH	STOR	STORAGE
FLR, FL	FLOOR, -ING	STR, STRL	STRUCTURE, STRUCTURAL
FOC	FACE OF CONCRETE	SYM	SYMMETRY, -(ICAL)
FOF	FACE OF FINISH	T	TEL/DATA OUTLET
FOM	FACE OF MASONRY	T STAT	THERMOSTAT
FOS	FACE OF STUDS	T&G	TONGUE AND GROOVE
FUT	FUTURE	TEL	TELEPHONE
GA	GAUGE	THK	THICK, -NESS
GAL, GALV	GALVANIZED	THRU	THROUGH
GFI	GROUND FAULT INTERRUPTER	TOC	TOP OF CONCRETE, CURB
GL	GLASS, GLAZING, GLAZED	TOP	TOP OF FOOTING
GWB	GYPSPUM BOARD	TOP	TOP OF PAVEMENT
GYP	GYPSPUM	TOS	TOP OF STEEL
HB	HOSE BIB	TOW	TOP OF WALL
HGT, HT	HEIGHT	TRANS, TPT	TRANSPARENT
HM	HOLLOW METAL	TV	TELEVISION
HOR, HORIZ	HORIZONTAL	TYP	TYPICAL
HSS	HOLLOW STEEL SHAPE	UC	UNDER CABINET
HVAC	HEATING, VENTILATING, AIR CONDITIONING	UL	UNDERWRITERS' LABORATORIES
ID	INSIDE DIAMETER	UNO	UNLESS NOTED OTHERWISE
INCL	INCLUDE, -D, -ING	UNO	UNLESS OTHERWISE NOTED
INSUL	INSULATE, -ION, -D, -ING	VCT	VINYL COMPOSITION TILE
INT	INTERIOR	VERT	VERTICAL
JOINT	JOINT	VIF	VERIFY IN FIELD
KIT	KITCHEN	W	WEST
LAM	LAMINATE	W	WIDTH
LAV	LAVATORY	W	WITH
LT	LIGHT	WO	WITHOUT
LVL	LEVEL	WC	WATER CLOSET
MANUF	MANUFACTURER	WD	WOOD
MAS	MASONRY	WDW	WINDOW
MAT, MATL	MATERIAL, -S	WF	WIDE FLANGE
MAX	MAXIMUM	WP	WATERPROOF, -ING
MDF	MEDIUM DENSITY FIBERBOARD	WP/C	WATERPROOFING, CRYSTALLINE
MECH	MECHANIC, -AL	WT	WEIGHT
MED	MEDIUM	WWF	WELDED WIRE FABRIC
MEMB	MEMBRANE	XPS	EXTRUDED POLYSTYRENE INSULATION
MET	METAL, -LIC		
MFD	MANUFACTURED		

### SHEET INDEX

Number	Sheet Name	Issue Date
<b>Architectural</b>		
A000	COVER SHEET	03/06/19
A001	CODE DATA & EGRESS PLAN	03/06/19
A002	ENVELOPE COMCHECK	03/06/19
A100	SITE PLAN	03/06/19
A101	SITE DEMO PLAN	03/06/19
A102	FLOOR PLAN	03/06/19
A103	ASSEMBLY TYPE INFORMATION	03/06/19
A110	REFLECTED CEILING PLAN	03/06/19
A120	ROOF PLAN	03/06/19
A200	ELEVATIONS	03/06/19
A300	BUILDING SECTIONS	03/06/19
A400	SECTION DETAILS	03/06/19
A401	SECTION DETAILS	03/06/19
A500	PLAN DETAILS	03/06/19
A600	DOOR, WINDOW, & FINISH SCHED	03/06/19
A802	DOOR AND WINDOW DETAILS	03/06/19
A803	MISC. DETAILS	03/06/19
<b>Structural</b>		
S0.1	GENERAL STRUCTURAL NOTES	03/06/19
S0.2	GSN CONT & SPECIAL INSP	03/06/19
S0.3	SPECIAL INSPECTION SCHED SHEET	03/06/19
S1.1	TYPICAL DETAILS	03/06/19
S1.2	TYPICAL DETAILS	03/06/19
S1.3	TYPICAL DETAILS	03/06/19
S1.4	TYPICAL DETAILS	03/06/19
S1.5	TYPICAL DETAILS	03/06/19
S2.1	FOUNDATION PLAN	03/06/19
S3.1	FRAMING PLAN	03/06/19
S4.1	FOUNDATION DETAILS	03/06/19
S4.2	FOUNDATION DETAILS	03/06/19
S5.1	FRAMING DETAILS	03/06/19
S5.2	FRAMING DETAILS	03/06/19
<b>Plumbing</b>		
P001	PLUMBING SCHEDULES & NOTES	03/06/19
P002	PLUMBING DETAILS	03/06/19
P100	PLUMBING SITE PLAN	03/06/19
P200	PLUMBING PLAN	03/06/19
P300	PLUMBING ROOF PLAN	03/06/19
P400	PLUMBING SPECIFICATIONS	03/06/19
<b>Mechanical</b>		
M001	MECHANICAL SCHEDULES	03/06/19
M002	MECHANICAL SCHEDULES	03/06/19
M200	MECHANICAL FLOOR PLAN	03/06/19
M300	MECHANICAL SPECIFICATIONS	03/06/19
M301	MECHANICAL SPECIFICATIONS	03/06/19
M302	MECHANICAL SPECIFICATIONS	03/06/19
<b>Electrical</b>		
E001	ELECTRICAL LEGEND, AND SCHEDULES	03/06/19
E002	ELECTRICAL SPECIFICATIONS	03/06/19
E100	ELECTRICAL SITE PLAN	03/06/19
E101	PHOTOMETRIC SITE PLAN	03/06/19
E102	EXTERIOR LTG CUT SHEETS	03/06/19
E200	ELECTRICAL PLANS	03/06/19
E201	LIGHTING CONTROLS	03/06/19
E300	ONE-LINE DIA AND PANEL SCHED	03/06/19

### GENERAL NOTES

IF THERE IS A CONFLICT BETWEEN ANY NOTES, DRAWINGS, OR SPECIFICATIONS, THE MOST RESTRICTIVE SHALL APPLY.

ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE GOVERNING EDITION OF THE INTERNATIONAL BUILDING CODE, OR SUCH OTHER LEGAL CODES, AND SHALL CONFORM TO ANY SPECIAL REQUIREMENTS OF ANY LENDING OR GOVERNMENTAL INSTITUTIONS.

CONTRACTOR AND SUBCONTRACTORS SHALL BE LICENSED IN THE STATE OF THE PROJECT SITE AND SHALL BE KNOWLEDGEABLE, SKILLED, AND COMPETENT TO PERFORM THE INTENDED WORK.

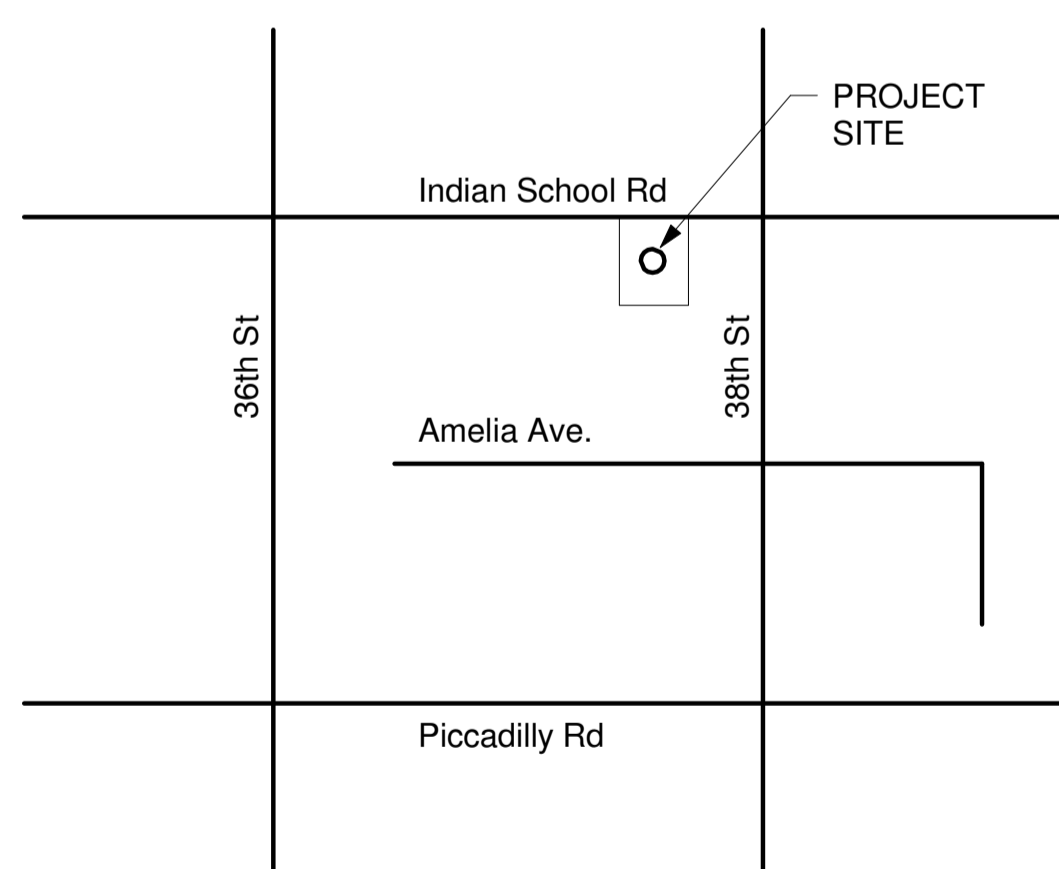
CONTRACTOR AND SUBCONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN A PROFESSIONAL MANNER BY SKILLED CRAFTSMAN OR TRADESMAN AND SHALL REPLACE ANY ITEMS DAMAGED BY THE CONTRACTOR OR SUBCONTRACTORS AT NO COST TO THE OWNER. SUBCONTRACTORS SHOULD COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHERS WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK IN A TIMELY MANNER.

CONTRACTOR AND SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES, AND FOR THE SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.

CONTRACTOR AND SUBCONTRACTORS SHALL, AT ALL TIMES INDEMNIFY AND HOLD THE ARCHITECT HARMLESS AGAINST ALL LIABILITY FOR CLAIMS AND LIENS FOR LABOR PERFORMED OR MATERIALS USED OR FURNISHED TO BE USED ON THE JOB, INCLUDING ANY COSTS AND EXPENSES FOR ATTORNEY FEES AND ALL INCIDENTAL OR CONSEQUENTIAL DAMAGES RESULTING TO THE ARCHITECT ARISING FROM SUCH CLAIMS.

ALL BIDS SUBMITTED AND ACCEPTED UNDER THIS CONTRACT SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE DOCUMENTS.

THE ARCHITECT NEITHER WARRANTS NOR GUARANTEES ANY CONSTRUCTION MATERIAL, EQUIPMENT, APPLIANCE, FIXTURE, HARDWARE, FINISH, OR MEAN/METHOD OF CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY PROJECT SITE GRADING OR DRAINAGE, NOR ANY TOXIC AND HAZARDOUS MATERIAL, GROUND EROSION, CORROSION, SUBSOIL, OR AIR AND WATER CONDITIONS, OR SIMILAR SUCH CONDITIONS OF THE PROJECT.



VICINITY MAP

### PROJECT DESCRIPTION

NEW 3,760 SF OFFICE/RETAIL BUILDING CONSTRUCTED ON EXISTING SLAB ON GRADE.

### DEFERRED SUBMITTALS

FIRELINE FIRE SPRINKLER FIRE ALARM FIRE ACCESS GATE ACCESS KNOX BOX

### SEPARATE SUBMITTALS

SIGNAGE LANDSCAPE INVENTORY/SALVAGE GATES

### CODE COMPLIANCE

2018 INTERNATIONAL BUILDING CODE  
2018 UNIFORM PLUMBING CODE  
2018 INTERNATIONAL MECHANICAL CODE  
2017 NATIONAL ELECTRIC CODE  
2018 INTERNATIONAL FUEL AND GAS CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
2012 INTERNATIONAL FIRE CODE

### SPECIAL INSPECTIONS

SEE STRUCTURAL S.02

### CONTRACTOR & OWNER NOTICE

THIS PROJECT HAS BEEN PERMITTED UNDER THE CITY OF PHOENIX SELF-CERTIFICATION PROGRAM. THE PROJECT IS SUBJECT TO AUDIT AND FIELD INSPECTION BY THE PLANNING & DEVELOPMENT DEPARTMENT. IF THE CONSTRUCTION OF THE PROJECT IS CONTRARY TO, OR DOES NOT MEET THE STANDARD OF THE CITY OF PHOENIX BUILDING CONSTRUCTION CODES, THE OWNER, AT HIS/HER OWN EXPENSE, SHALL REMOVE OR MODIFY ANY AND ALL COMPONENTS THAT DO NOT CONFORM. ANY DEVIATIONS FROM THE APPROVED PLAN MUST BE COORDINATED IN ADVANCE WITH THE CITY INSPECTOR AND REVISED PLANS OR SKETCHES MUST BE PROVIDED BY THE SELF-CERTIFIED PROFESSIONAL.

### CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE DRAWINGS ARE PREPARED BY ME, UNDER MY SUPERVISION, OR REVIEWED BY ME AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE CONFORM TO THE PHOENIX BUILDING CONSTRUCTION CODE.

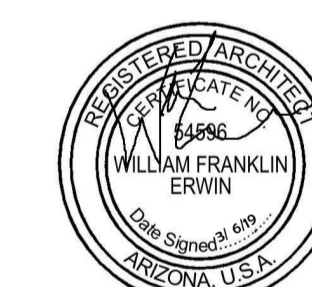
SELF CERTIFIED BY: *Donald Andrews* DATE: 03/11/19  
DONALD ANDREWS CERTIFICATE #45

- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
- PLANS ARE COMPLETE.  
- THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
SDEV #1800276  
PAPP #1806619  
PRLC  
QS Q16-36

### SHEET ISSUE/REV:

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Expires 6.30.19

Owner JONATHAN PITT  
Proj. Name WANDERIST OFFICE & RETAIL

### COVER SHEET

Date 03/06/19

# A000

Scale 1/4" = 1'-0"

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
 THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
 DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

CONTACTS:

**OWNER**  
 SUPERLUKE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.8653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD-C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD, SUITE 200,  
 SCOTTSDALE, AZ 85251  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@PECONSULT.COM  
 (P) 602.388.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

SHEET ISSUE/REV:

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19

Expires 6.30.19

Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

CODE DATA & EGRESS PLAN

Date 03/06/19

Scale As indicated

KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36

ZONING DATA

PARCELS: 127-25-120-J & 127-25-122  
 ZONING: C-1  
 ADDRESS: 3743 E. INDIAN SCHOOL ROAD, PHOENIX, AZ 85018

CONSTRUCTION TYPE

TYPE VB - SPRINKLERED (UNDER SEPARATE PERMIT)  
 OCCUPANCY CLASSIFICATION B, M  
 2018 IECC CLIMATE ZONE - 2B

BUILDING LIMITATIONS

REFERENCE IBC TABLE 504.3, SECTION 504.4, AND SECTION 506.2

GROUP	TYPE 5B	HEIGHT	AREA
M	2 / 27,000	UL	
B	3 / 27,000	UL/UL	

MAX HEIGHT 60'  
 THE PROPOSED BUILDING IS A SINGLE STORY

OCCUPANCY CLASSIFICATION

REFERENCE IBC TABLE 1004.1.2

AREA OF USE	OCCUPANCY	LOAD FACTOR
PARKING GARAGE	S-2	200 GROSS
STORAGE	S-1	300 GROSS
MECH/ELEC	S-1	300 GROSS
BUSINESS	B	100 GROSS
MERCANTILE	M	30 GROSS
SWIMMING POOL	A-3	50 GROSS
SWIMMING POOL DECK	A-3	15 GROSS
RESIDENTIAL UNIT	R-2	200 GROSS
RES. BALCONY/PATIO	R-2	200 GROSS
CIRCULATION SPACE	NA	100 GROSS
ASSEMBLY (UNCONCENTRATED)	A-3	15 NET
ASSEMBLY (CONCENTRATED)	A-3	7 NET

FIRE RESISTANCE RATING

BUILDING ELEMENT	TYPE 5B	TABLE
STRUCTURAL FRAME	0 HR	TABLE 601
EXTERIOR NON-BEARING WALLS	X-5'	TABLE 602
INTERIOR NON-BEARING WALLS	0 HR	TABLE 601
EXTERIOR BEARING WALLS	0 HR	TABLE 601
INTERIOR BEARING WALLS	0 HR	TABLE 601
FLOOR CONSTRUCTION	0 HR	TABLE 601
ROOF CONSTRUCTION	0 HR	TABLE 601

SAFETY GLAZING

GLAZING LOCATION	MINIMUM CATEGORY CLASSIFICATION	9 SF OR LESS	MORE THAN 9 SF
FRAMED SWING DOORS	I		II
UNFRAMED SWING DOORS	I		II
TUB AND SHOWER ENCLOSURE	NR		II
ADJACENT TO DOORS	I		II
INDIVIDUAL PANELS	II		II
ADJACENT WALKING SURFACE	NR		II

SAFETY GLAZING WILL NOT BE PROVIDED WHERE ALLOWED BY IBC 2406.3

EXIT TRAVEL DISTANCE

MAXIMUM EXIT ACCESS TRAVEL DISTANCE	IBC, TABLE 1016.2
GROUP M	250 FEET
GROUP B	300 FEET

MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE	IBC, TABLE 1014.3
GROUP M	75 FEET
GROUP B	100 FEET

DISTANCES REFLECT THE PRESENCE OF AUTOMATIC SPRINKLER SYSTEM

EGRESS COMPONENTS

**EXIT SIGNS:**  
 1. EXITS AND EXIT ACCESS DOORS WILL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. EXIT SIGN PLACEMENT WILL BE SUCH THAT NO POINT IN A CORRIDOR IS MORE THAN 100 FEET, OR THE LISTED VIEWING DISTANCE FROM THE SIGN, WHICH EVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.  
 2. EXIT SIGN LETTERS TO BE NOT LESS THAN 2" WIDE X 6" HIGH (EXCEPT LETTER I), AND THE MINIMUM SPACING BETWEEN THE LETTERS WILL NOT BE LESS THAN (3/4) INCHES. IBC FIGURE 1011.6.1  
 3. EXIT SIGN LETTERS TO BE IN HIGH CONTRAST WITH THE BACKGROUND AND CLEARLY DISCERNABLE WHEN THE MEANS OF EGRESS ILLUMINATION IS OR IS NOT ENERGIZED.  
 4. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN WILL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM AN ONSITE GENERATOR.

**DOORS:**  
 1. MINIMUM CLEAR WIDTH SHALL BE .2 INCHES PER OCCUPANT SERVED. MINIMUM CLEAR WIDTH SHALL BE REDUCED TO .15 INCHES PER OCCUPANT SERVED IN BUILDING EQUIPPED THROUGHOUT AUTOMATIC SPRINKLER SYSTEM & EMERGENCY VOICEALARM COMMUNICATION SYSTEM, BUT NOT LESS THAN 32 INCHES. IBC, SECTION 1005.3.2 AND TABLE 1008.1.1  
 2. MINIMUM HEIGHT SHALL BE 80 INCHES. IBC, SECT 1008.1.1  
 3. MAXIMUM WIDTH OF SWINGING DOOR LEAF IS 48 INCHES. IBC, SECT 1008.1.1  
 4. DOORS WILL BE SIDE HINGED SWINGING TYPE, AND WILL SWING IN THE DIRECTION OF TRAVEL WHERE THE AREA SERVED HAS AN OCCUPANT OF 50 OR MORE. IBC SECT 1008.1.2  
 5. DOORS WILL BE SET IN MOTION WHEN SUBJECTED TO A 30 POUND FORCE, AND SWING TO THE FULLY OPEN POSITION WHEN SUBJECTED TO A 15 POUND FORCE. IBC, TABLE 1008.1.3  
 6. DOORS WILL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT.

**CORRIDORS:**  
 1. MINIMUM CLEAR WIDTH SHALL BE .15 INCHES PER OCCUPANT SERVED IN BUILDING EQUIPPED THROUGHOUT AUTOMATIC SPRINKLER SYSTEM & EMERGENCY VOICEALARM COMMUNICATION SYSTEM, BUT NOT LESS THAN 44 INCHES. IBC, SECT 1005.3.2 & 1018.2  
 2. MIN CLEAR WIDTH WITH AN OCCUPANT CAP OF 50 OR LESS IS 36 INCHES. IBC SECT 1018.2  
 3. THE MAXIMUM LENGTH OF DEAD-END CORRIDORS IS 50 FEET FOR GROUP B, M, S, & R-2 AND 20 FEET FOR ALL OTHER OCCUPANCIES. IBC, SECTION 1018.4

**INTERVENING ROOMS:**  
 1. EGRESS FROM A ROOM OR SPACE MAY NOT PASS THROUGH ADJOINING OR INTERVENING ROOMS OR AREAS, EXCEPT WHERE SUCH ADJOINING ROOMS OR AREAS ARE ACCESSORY TO THE AREA SERVED, NOT A HIGH-HAZARD OCCUPANCY, AND PROVIDE A DISCERNABLE PATH OF EGRESS TRAVEL TO AN EXIT. IBC SECT 1014.2  
 2. EGRESS MAY NOT PASS THROUGH STORAGE ROOMS, CLOSETS, OR SPACES USED FOR SIMILAR PURPOSES.  
 3. EXIT ACCESS MAY NOT PASS THROUGH A ROOM THAT CAN BE LOCKED TO PREVENT EGRESS. IBC, SECTION 1014.2

CODE DATA

2018 CITY OF PHOENIX BUILDING CONSTRUCTION CODE INCLUDING THE FOLLOWING CODES AND AMENDMENTS:  
 2018 IBC (INTERNATIONAL BUILDING CODE)  
 2018 IECC (INTERNATIONAL ENERGY CONSERVATION CODE)  
 2018 IFC (INTERNATIONAL FIRE CODE)  
 2017 NEC (NATIONAL ELECTRIC CODE)  
 2018 IMC (INTERNATIONAL MECHANICAL CODE)  
 2018 IPC (INTERNATIONAL PLUMBING CODE)  
 2018 UPC (UNIFORM PLUMBING CODE)

**ACCESSIBILITY:**  
 CHAPTER 11 OF THE IBC  
 2009 ANSI A117.1, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES  
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

**OTHER:**  
 VARIOUS NFPA CODES AND STANDARDS AS REFERENCED BY CODES LISTED ABOVE

FIRE EXTINGUISHERS

EX PER IBC TABLE SECTION 906 PROVIDE 2-A RATED EXTINGUISHERS. MAX TRAVEL DISTANCE TO EXTINGUISHER 75'-0". MAXIMUM FLOOR AREA PER UNIT OF "A" IS 3,000 SF.  
 EXIT SIGN

PLUMBING FIXTURE COUNTS

IBC TABLE 2902.1

CLASSIFICATION	OCCUPANCY	WATER CLOSETS	LAVS	TUB / SHOWERS	DRINKING FOUNTAINS	OTHER
BUSINESS	B	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	-	1 per 100 14/100 - 14	1 Service Sink
MERCANTILE	M	1 per 500 78/500 - 15	1 per 750 78/750 - 10	-	1 per 1000 78/1000 - 078	1 Service Sink

**WATER CLOSETS**  
 1 REQUIRED  
 2 PROVIDED

**DRINKING FOUNTAINS**  
 1 REQUIRED  
 WATER COOLER PROVIDED IN LIEU OF DRINKING FOUNTAIN

**SERVICE SINK**  
 1 REQUIRED  
 1 PROVIDED

**NOTE: PER IBC 2902.2 SEPARATE FACILITIES ARE NOT REQ'D FOR EA. SEX IN MERCANTILE OCCUPANCIES W/ MAXIMUM OCCUPANT LOAD OF 100 OR FEWER OR BUSINESS OCCUPANCIES W/ 25 OR FEWER. PROVIDE UNISEX SIGNAGE PER IBC 2902.4**

IECC DATA

ALL NEW FENESTRATION MUST MEET REQUIREMENTS OF 2012 IECC TABLE C402.3 CLIMATE ZONE 2

TABLE C402.3 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION

CLIMATE ZONE	Vertical fenestration							
	1	2	3	4 EXCEPT MARINE 5 AND MARINE 6	6	7	8	
U-factor	0.50	0.50	0.46	0.38	0.38	0.36	0.29	0.29
Fixed fenestration	0.65	0.65	0.60	0.45	0.45	0.43	0.37	0.37
Operable fenestration	1.10	0.83	0.77	0.77	0.77	0.77	0.77	0.77
SHGC	0.25	0.25	0.25	0.40	0.40	0.40	0.45	0.45
Skylights								
U-factor	0.75	0.65	0.55	0.50	0.50	0.50	0.50	0.50
SHGC	0.35	0.35	0.35	0.40	0.40	0.40	NR	NR

NR = No requirement.

OCCUPANT LOAD

OCCUPANT LOAD TABLE

AREA NAME	USE GROUP	AREA	NET OR GROSS	LOAD FACTOR	OCCUPANT LOAD
OFFICE & STOCK ROOM	B	1408 SF	GROSS	100 SF	14
RETAIL AREA	M	2336 SF	GROSS	30 SF	78

NO SEPARATION BETWEEN USES REQUIRED PER TABLE 508.4

EXIT ARRANGEMENT

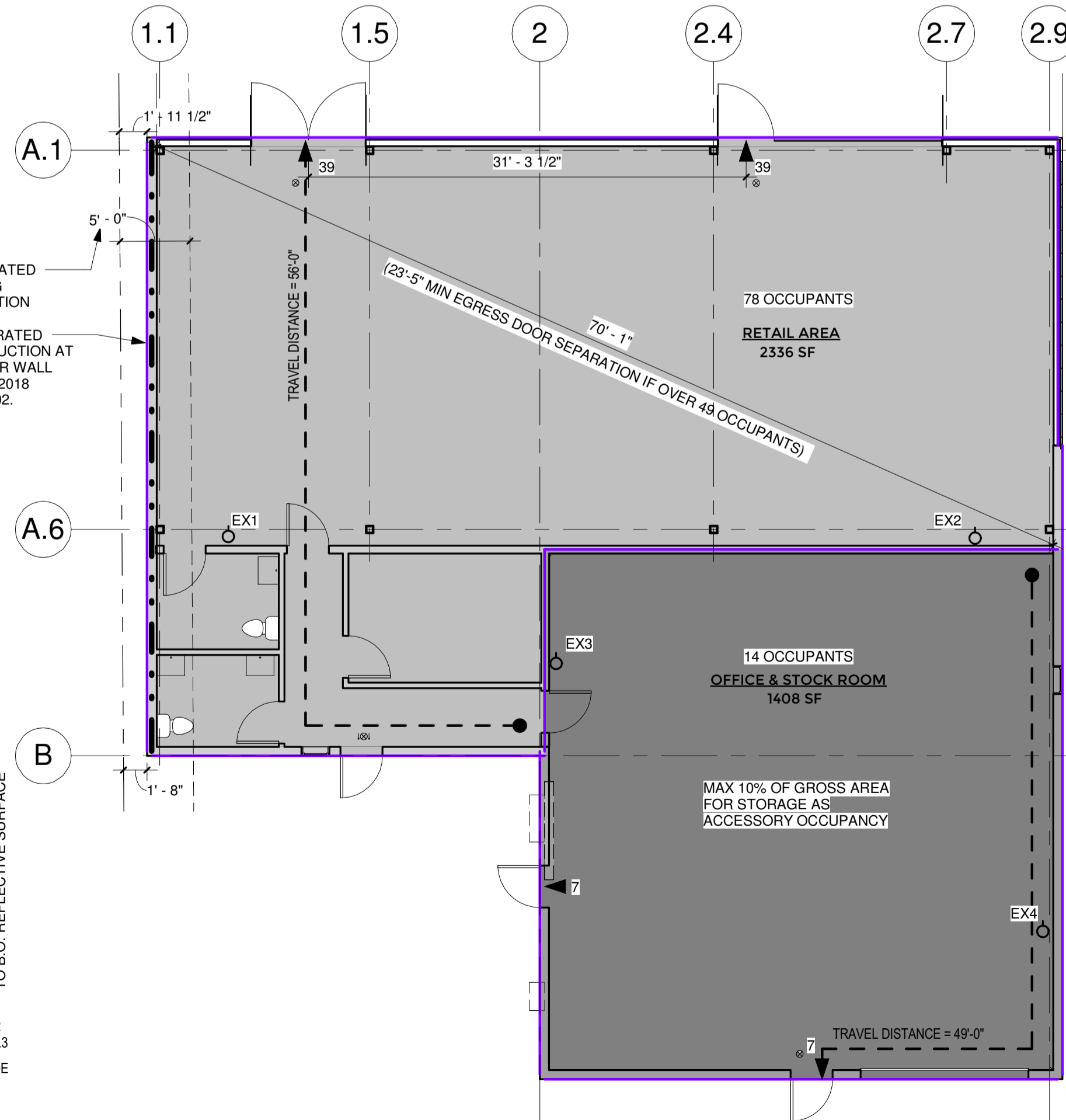
REFERENCE IBC SECTION 1015 & 1021

A MINIMUM OF TWO EXITS WILL BE PROVIDED WHERE EVER THE OCCUPANT LOAD IS GREATER THAN 49 PERSONS IN B AND M USES.

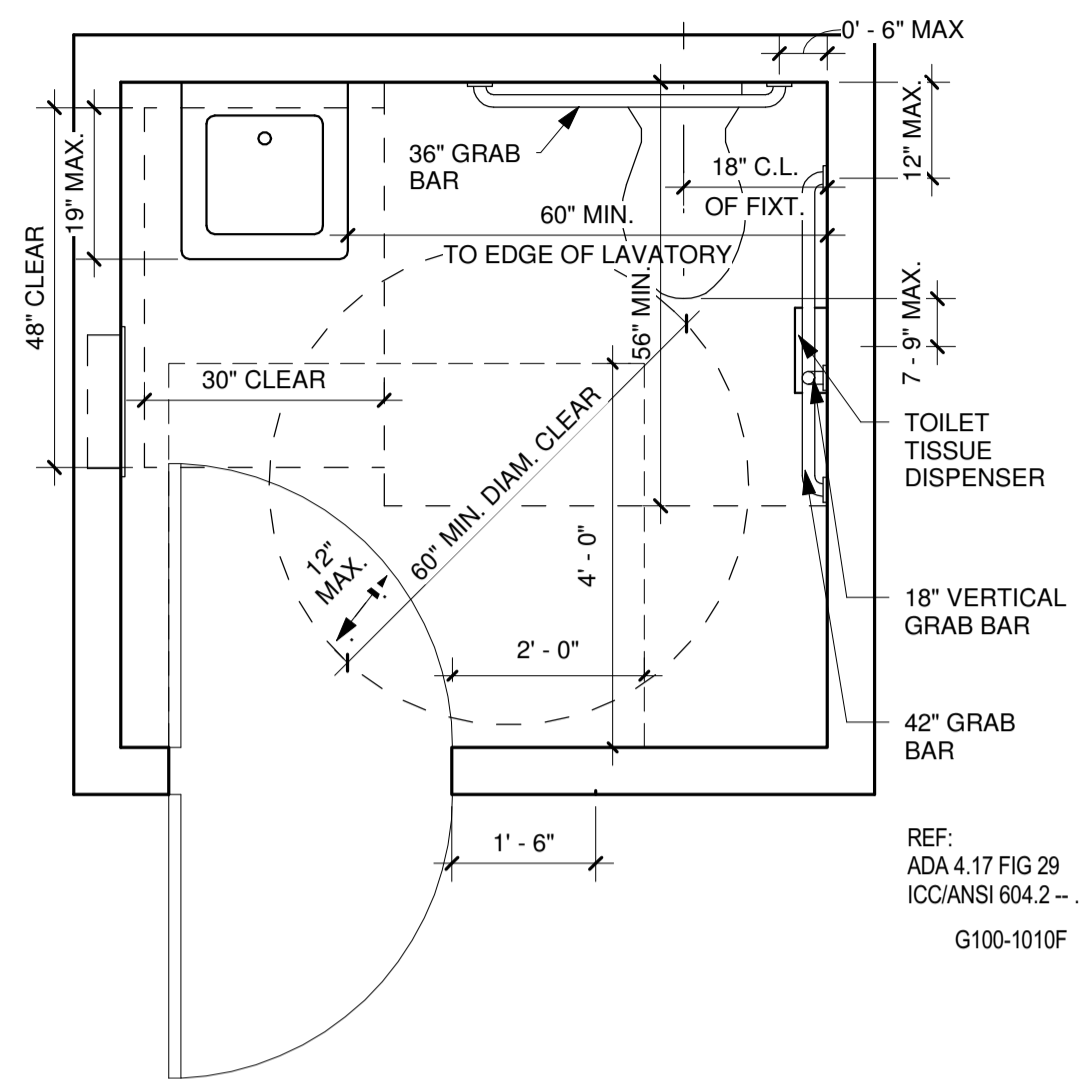
**RETAIL AREA**  
 2 EXITS REQUIRED  
 2 EXITS PROVIDED

**PRINT AREA**  
 1 EXIT REQUIRED  
 2 EXITS PROVIDED

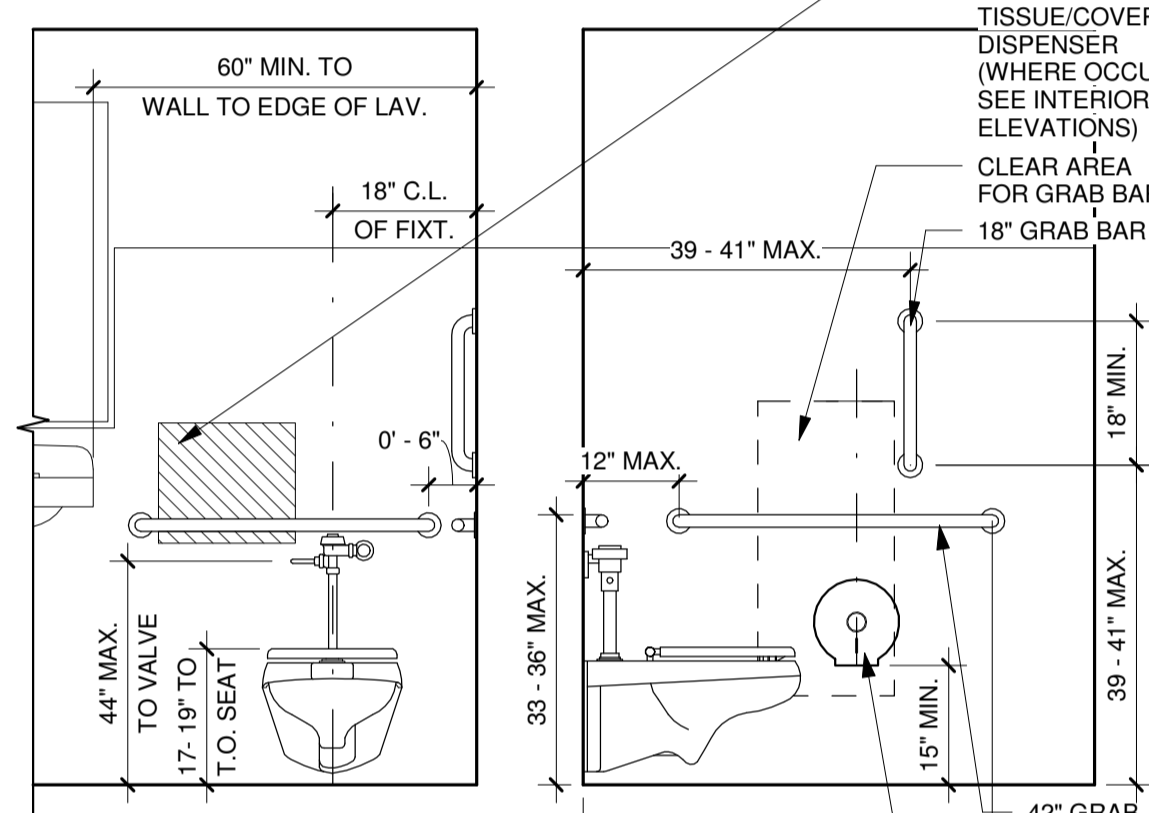
WHERE EVER TWO EXITS ARE REQUIRED FROM ANY PORTION OF THE BUILDING, THE EXITS WILL BE LOCATED A DISTANCE OF NOT LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE SPACE.



1 CODE PLAN AND EXITING DIAGRAM  
 1/8" = 1'-0"



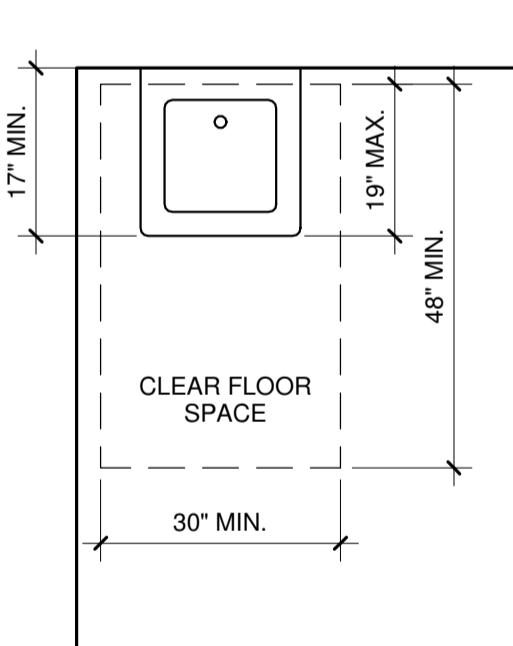
16. BATHROOM PLAN



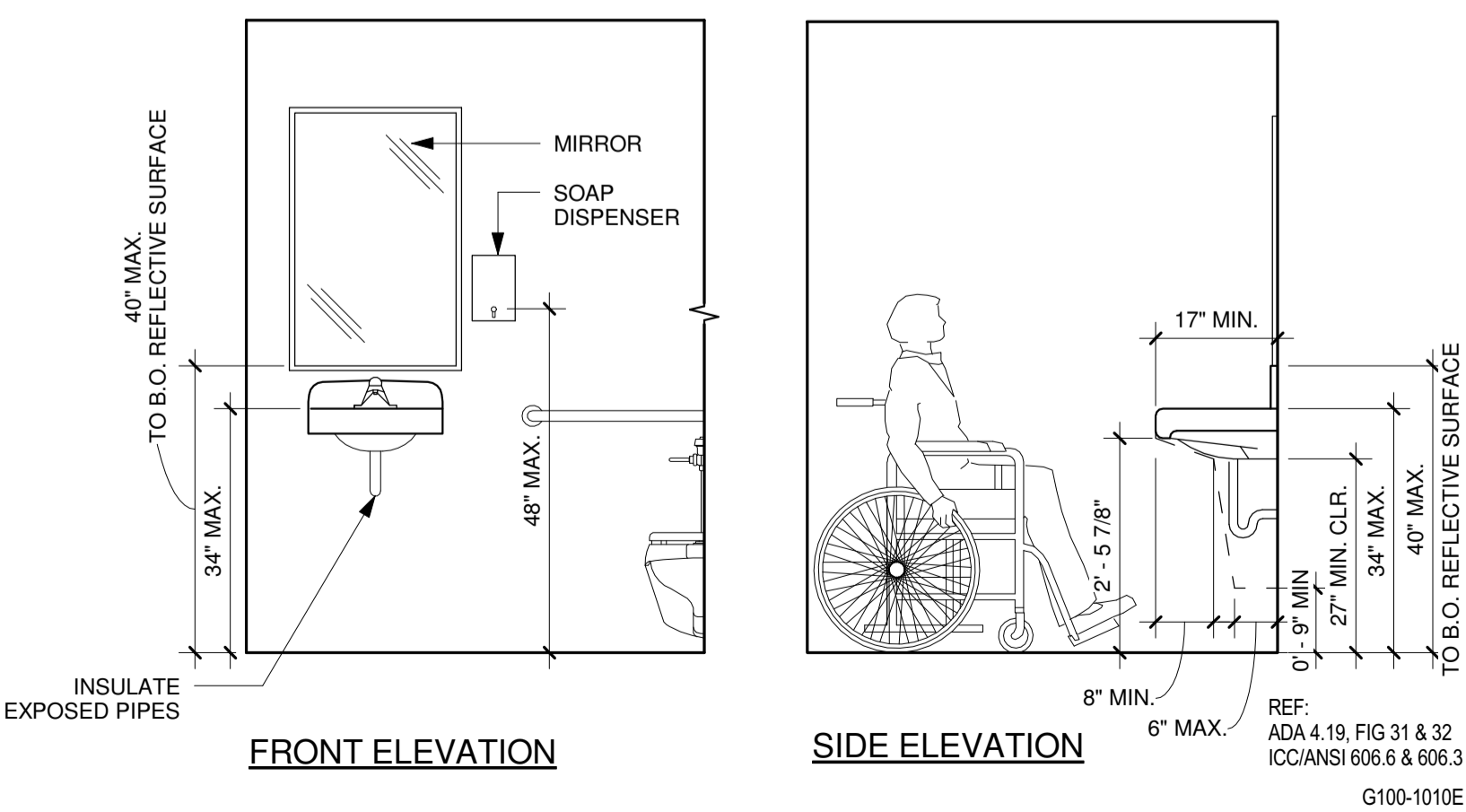
15. FRONT ELEVATION

14. SIDE ELEVATION

3 SINGLE TOILET ROOM  
 1/2" = 1'-0"



SINK PLAN



FRONT ELEVATION

SIDE ELEVATION

2 ACCESSIBLE LAVATORY  
 1/2" = 1'-0"

COMcheck Software Version 4.1.1.0  
Envelope Compliance Certificate

Project Information

Energy Code: 2018 IECC  
Project Title: Wanderist Office & Retail  
Location: Phoenix, Arizona  
Climate Zone: 2b  
Project Type: New Construction  
Vertical Glazing / Wall Area: 29%  
Skylight / Roof Area: 0%

Construction Site: 3743 E. Indian School Road Phoenix, AZ 85018  
Owner/Agent: Jonathan Pitt Superluxe Screen Printing 3007 N 73rd St Ste. E Scottsdale, AZ 85251 480.247.6653

Designer/Contractor: William Erwin Erwin Architecture & Development, LLC 5911 W. Park Ave Chandler, AZ 85226 602.677.8372 will@erwinarchitecture.com

Additional Efficiency Package(s)

Enhanced Envelope Performance

Building Area	Floor Area
1-Retail with office, print area, and support space (Retail) : Nonresidential	3744

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor <sub>req</sub>
Roof 1: Attic Roof with Wood Joists, [Bldg. Use 1 - Retail with office, print area, and support space]	3744	28.0	10.0	0.026	0.027
Skylight 1: Metal Frame with Thermal Break-Glass, With Curb, Perf. Specs.: Product ID 3762, SHGC 0.35, [Bldg. Use 1 - Retail with office, print area, and support space] (c)	5	---	---	0.650	0.650
Floor 1: Slab-On-Grade-Unheated, [Bldg. Use 1 - Retail with office, print area, and support space] (d)	265	---	---	0.730	0.730
NGRT11					
Exterior Wall 5: Wood-Framed, 24" o.c., [Bldg. Use 1 - Retail with office, print area, and support space]	980	20.0	0.0	0.062	0.064
Window 4: Other Window-Fixed, Perf. Specs.: Product ID NA, SHGC 0.25, [Bldg. Use 1 - Retail with office, print area, and support space] (c)	673	---	---	0.180	0.500
Window 5: Other Window-Fixed, Perf. Specs.: Product ID NA, SHGC 0.33, PF 0.38, [Bldg. Use 1 - Retail with office, print area, and support space] (c)	96	---	---	0.500	0.500
Door 4: Glass (> 50% glazing) Nonmetal Frame, Entrance Door, Perf. Specs.: Product ID NA, SHGC 0.37, PF 0.38, [Bldg. Use 1 - Retail with office, print area, and support space] (c)	99	---	---	0.830	0.830
EAST					
Exterior Wall 1: Wood-Framed, 24" o.c., [Bldg. Use 1 - Retail with	1007	20.0	0.0	0.062	0.064

Project Title: Wanderist Office & Retail Report date: 03/04/19  
Data filename: C:\Users\stoccl\Desktop\Wanderist.cck Page 1 of 11

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor <sub>req</sub>
office, print area, and support space]	275	---	---	0.180	0.500
Window 1: Other Window-Fixed, Perf. Specs.: Product ID NA, SHGC 0.25, [Bldg. Use 1 - Retail with office, print area, and support space] (c)	22	---	---	0.650	0.650
Window 3: Metal Frame-Operable, Perf. Specs.: Product ID NA, SHGC 0.25, [Bldg. Use 1 - Retail with office, print area, and support space] (c)					
SOUTH					
Exterior Wall 1: Wood-Framed, 24" o.c., [Bldg. Use 1 - Retail with office, print area, and support space]	980	20.0	0.0	0.062	0.064
Window 2: Metal Frame-Operable, Perf. Specs.: Product ID NA, SHGC 0.25, [Bldg. Use 1 - Retail with office, print area, and support space] (c)	7	---	---	0.650	0.650
Door 1: Insulated Metal, Swinging, [Bldg. Use 1 - Retail with office, print area, and support space]	42	---	---	0.610	0.610
Door 2: Insulated Metal, Garage door 14% glazing, [Bldg. Use 1 - Retail with office, print area, and support space]	126	---	---	0.310	0.310
WEST					
Exterior Wall 3: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail with office, print area, and support space]	750	20.0	0.0	0.064	0.064
Exterior Wall 4: Wood-Framed, 24" o.c., [Bldg. Use 1 - Retail with office, print area, and support space]	340	20.0	0.0	0.062	0.064
Door 3: Insulated Metal, Swinging, [Bldg. Use 1 - Retail with office, print area, and support space]	21	---	---	0.610	0.610

- (a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
- (b) Other components require supporting documentation for proposed U-factors.
- (c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.
- (d) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.

Envelope Passes: Design 12% better than code

Envelope Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

William Erwin, President Signature Date: 3/4/19

Project Title: Wanderist Office & Retail Report date: 03/04/19  
Data filename: C:\Users\stoccl\Desktop\Wanderist.cck Page 2 of 11

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.

THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.

DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

CONTACTS:

OWNER  
SUPERLUXE SCREEN PRINTING  
JONATHAN PITT  
(E) JON@THEWANDERIST.COM  
(P) 480.247.6653

ARCHITECT  
ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
WILLIAM ERWIN, AIA, LEED AP BD+C  
(E) WILL@ERWINARCHITECTURE.COM  
(P) 602.677.8372

SELF-CERTIFIED ARCHITECT  
ANDREWS DESIGN GROUP INC.  
DON ANDREWS JR.  
(E) DON@ADGARCH.NET  
(P) 480.894.3478

CIVIL  
3 ENGINEERING  
DAN MANN, P.E.  
6370 E. THOMAS RD, SUITE 200,  
SCOTTSDALE, AZ 85251  
(E) DAN@3ENGINEERING.COM  
(P) 602.334.4387

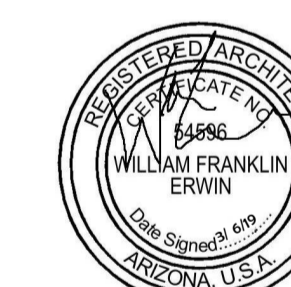
STRUCTURAL  
UNITED STRUCTURAL DESIGN  
DAVID GRAPSAS, P.E., S.E.  
2058 S. DOBSON ROAD, SUITE 10  
MESA, AZ 85202  
(E) DGRAPSAS@UNITEDSTR.COM  
(P) 480.382.9768

MEP  
PETERSON ENGINEERING  
DAVID MCKERCHER  
7201 N. DREAMY DRAW DRIVE, SUITE 200  
PHOENIX, AZ 85020  
(E) DANM@MPECONSULT.COM  
(P) 602.388.1716

LANDSCAPE  
NORRIS DESIGN  
JOEL THOMAS  
(E) JTHOMAS@NORRIS-DESIGN.COM  
(P) 512.900.7888

SHEET ISSUE/REV:

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Expires 6.30.19

Owner: JONATHAN PITT  
Proj. Name: WANDERIST OFFICE & RETAIL

ENVELOPE COMCHECK

Date: 03/06/19

A002

Scale

SELF CERTIFIED BY: DONALD ANDREWS DATE: 03/06/2019  
CERTIFICATE #45

- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
- PLANS ARE COMPLETE.  
- THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
SDEV #1800276  
PAPP #1806619  
PRLC  
QS Q16-36

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
 THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
 DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

CONTACTS:

**OWNER**  
 SUPERLUKE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD+C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS, JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD, SUITE 200,  
 SCOTTSDALE, AZ 85251  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

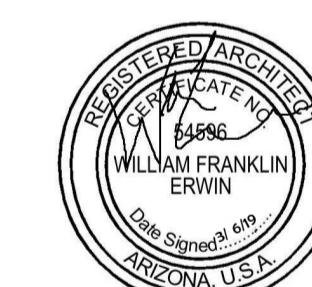
**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPSAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPSAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@MEPCONSULT.COM  
 (P) 480.382.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

SHEET ISSUE/REV:

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

SITE PLAN

Date 03/06/19

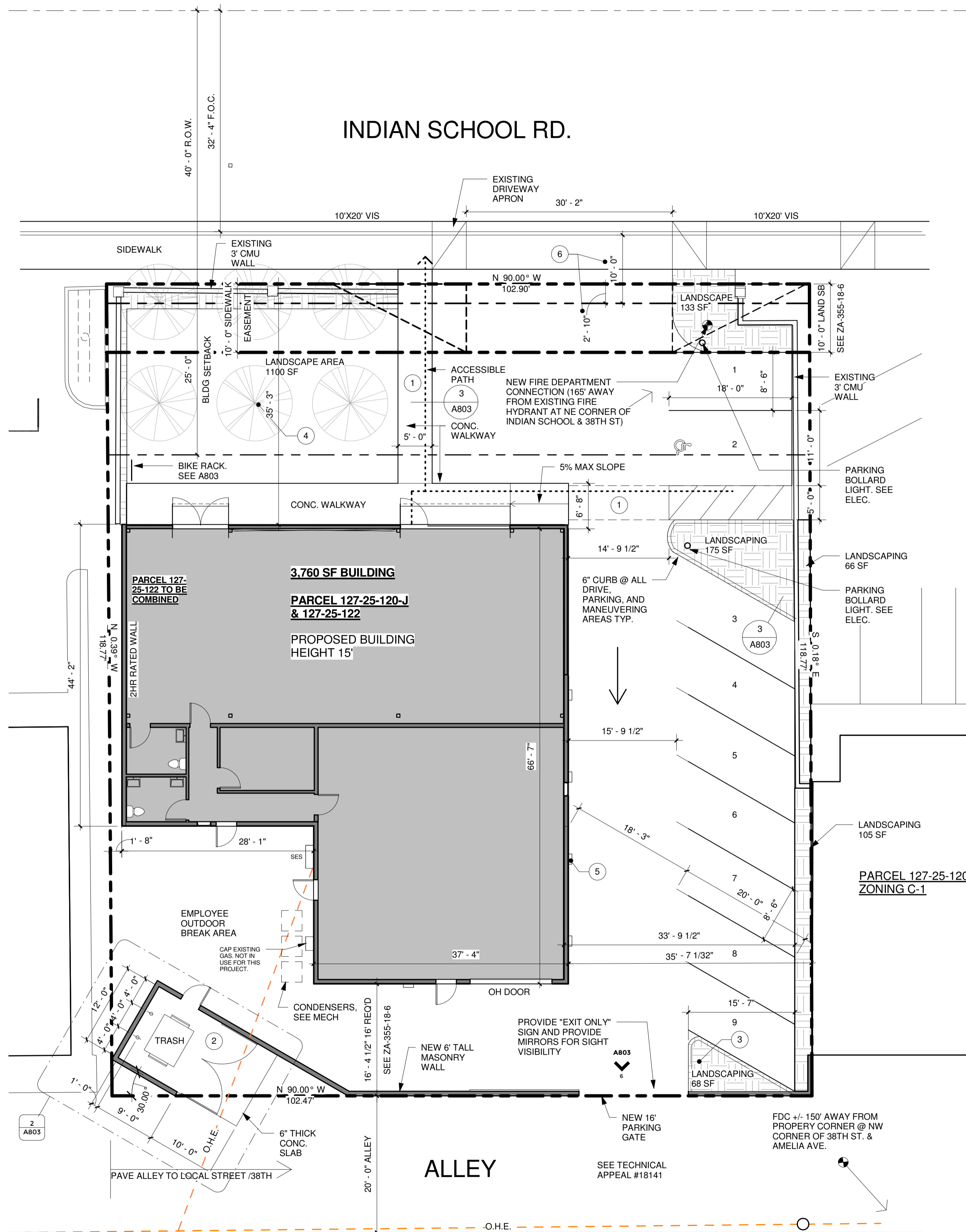
A100

Scale As indicated

**OK TO LOG IN**  
 Site Planning Division, Planning and Development Department

SITE - Anthony Chattley 602-534-0155 7 March 2019  
 Approved By \_\_\_\_\_ Date \_\_\_\_\_  
 030720219145441  
 P&D Tracking Numbers

Route to: No Review \_\_\_\_\_ Site   
 Traffic  Civil \_\_\_\_\_ Fire   
 Zoning \_\_\_\_\_ Design Review \_\_\_\_\_



SITE PLAN KEYNOTES

- ACCESSIBLE ROUTE. MAX 1:20 SLOPE (5%). ALL SURFACES MUST BE FIRM, STABLE, & SLIP RESISTANT. CLEAR WIDTH 36". MAXIMUM 1/4" VERTICAL EDGE. CHANGES IN LEVEL 1/4" TO 1/2" MUST BE BEVELED.
- TRASH ENCLOSURE PER COP STANDARD DETAIL. MINIMUM NET ENCLOSURE OPENING OF 12" PER BIN. PROVIDE A 3'-0" PEDESTRIAN ACCESS GATE. BIN ENCLOSURES SHALL HAVE (2) 4" DIA. 6" TALL STEEL SAFETY POSTS INSTALLED AT THE BACK OF THE ENCLOSURE
- POST LEFT TURN ONLY SIGN PER VARIANCE STIPULATIONS.
- TREES IN PARKING LOT SHALL BE A MIN. OF 5' WIDE 507TAB A.I.I.A.6.1.2
- WALL MOUNTED PARKING LOT LIGHTING. SHALL NOT EXCEED 15' IN HEIGHT W/IN 150' OF RESIDENTIAL DISTRICT.
- DEDICATE A 10' SIDEWALK EASEMENT ALONG E. INDIAN SCHOOL ROAD (SECTION 31-91)

CIVIL NOTES:

- SITE DISTURBANCE (REMOVING THE BASE) WILL BE 2,000 SF OR LESS AND EXISTING F.F. WILL REMAIN UNCHANGED THEREFORE NO G&D IS REQUIRED.

ZA-355-18-6:

- VARIANCE REQUESTS:**
- VARIANCE TO REDUCE THE REQUIRED REAR YARD SETBACK (SOUTH) TO 16'. MIN. 50' REQ'D.
  - VARIANCE TO REDUCE THE REQUIRED REAR YARD LANDSCAPE SETBACK (SOUTH) TO 0'. MIN. 10' REQ'D.
  - VARIANCE TO REDUCE THE REQUIRED FRONT YARD LANDSCAPE SETBACK (NORTH) TO 10' AVERAGE 25' REQ'D.
  - VARIANCE TO REDUCE PARKING AREA LANDSCAPING TO 8%. MIN. 10% PARKING AREA LANDSCAPING REQ'D.
  - VARIANCE TO REDUCE PARKING TO 10 SPACES. MIN. 11 REQ'D.
  - VARIANCE TO ALLOW ALLEY MANUEVERING.

VARIANCE STIPULATIONS:

- 1,2,3,4, & 5 APPROVED WITH THE FOLLOWING STIPULATIONS:  
 1.) THE NEW REPLACEMENT STRUCTURE SHALL NOT EXCEED 3,760 SF AND MUST BE CONFINED ENTIRELY WITHIN THE EXISTING FOOTINGS AND CONCRETE SLAB. THERE SHALL BE NO ADDITIONS OR OTHER PERMANENT STRUCTURES ON THE SITE.  
 2.) THE REAR OF THE PROPERTY ALONG THE ALLEY SHALL BE FULLY FENCED WITH MASONRY OR OTHER SOLID MATERIAL TO PREVENT ANY OFF-SITE VEHICLE MANUEVERING AT THE REAR OF THE BUILDING.  
 3.) A GATE MAY BE INSTALLED TO THE ALLEY FOR PARKING EGRESS (PER 702 E.I.C) AND SHALL BE LOCATED WITHIN THE EASTERN 45' OF THE PROPERTY. A LEFT TURN ONLY SIGN SHALL BE POSTED AT THE EXIT TO THE ALLEY.  
 4.) THE OWNER/APPLICANT MUST APPLY FOR AN APY FOR FINAL PERMITS WITHIN 6 MONTHS.

CITY OF PHOENIX NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.

PROJECT INFO

ADDRESS: 3743 E. INDIAN SCHOOL ROAD  
 CONSTRUCTION TYPE: VB  
 OCCUPANCY: B & M

PROJECT DESCRIPTION

NEW 3,760 SF T-SHIRT PRINTING PRODUCTION, OFFICE, AND RETAIL BUILDING. STRUCTURE WILL BE BUILT ON EXISTING BUILDING PAD. SEE ZONING CASE ZA-355-18-6.

ZONING DATA

ZONING DISTRICT: C-1  
 PARCEL: 127-25-120-J & 127-25-122  
 OWNER: JONATHAN PITT  
 TYPICAL LOT REQUIREMENTS:  
 MAX BUILDING HEIGHT = 56'  
 FRONT SETBACK = AVG 25', 20' FOR 50% MAX  
 REAR SETBACK = 0' @ C-1  
 REAR SETBACK = 25' OR 50' @ R1-6  
 INTERIOR SIDE SETBACK = 0'

SEE VARIANCE CASE ZA-355-18-6 FOR MODIFIED SETBACKS AND REQUIREMENTS

LOT COVERAGE

MAX LOT COVERAGE PER ZONING = 50%  
 TOTAL LOT AREA = 12,194 SF  
 NEW BUILDING = 3,760 SF  
 TOTAL = 3,760 SF

LOT COVERAGE = 32% (LESS THAN 50%)

AREAS (NET)

PRODUCTION AREA = 1,326 SF  
 OFFICE = 129 SF  
 RETAIL = 1,825 SF  
 BATHROOM = 118 SF  
 HALLWAY = 112 SF  
 TOTAL = 3,510 SF

PARKING

PRODUCTION AREA = 1 SPACE PER 1.5 PRODUCTION WORKERS  
 OFFICE = 1 PER 300SF  
 RETAIL = 1 PER 300SF

PARKING CALCULATION:

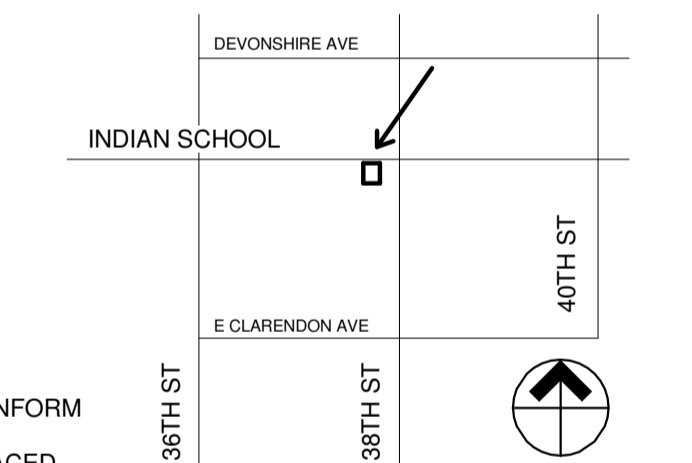
PRODUCTION AREA = 1 EMPLOYEES = 1 SPACES  
 OFFICE & RETAIL = 2,337 SF / 300 = 7.79 SPACES  
 TOTAL = 9 SPACES

PRODUCTION AREA 8'-6" X 18' = 1 SPACES  
 OFFICE & RETAIL 8'-6" X 18' = 8 SPACES (1 of 6 ADA)

LANDSCAPE AREA

PARKING AREA = 4,910 SF  
 PARKING AREA LANDSCAPE = 414 SF  
 PARKING AREA LANDSCAPE REQ'D = 8% PER ZA-355-18-6  
 PARKING AREA LANDSCAPE PROVIDED = 8.4%

VICINITY MAP



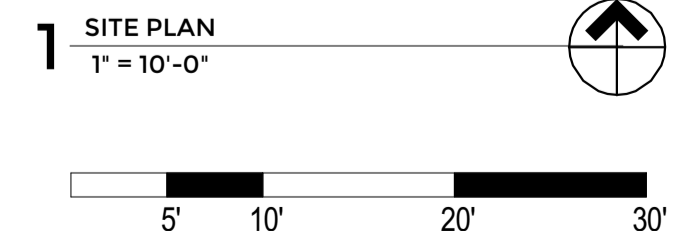
I consent to the reproduction of this site plan provided that if modifications are made, the professionals who make such changes assume full responsibility and liability for the modified portions of the plan.

SIGNATURE OF COPYRIGHT OWNER  
 WILLIAM ERWIN, AIA 1/9/19  
 PRINTED NAME OF COPYRIGHT OWNER

SELF CERTIFIED BY: DONALD ANDREWS DATE: 03/06/2019 CERTIFICATE #45

- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
 - PLANS ARE COMPLETE.  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36



ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.

THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.

DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

CONTACTS:

**OWNER**  
 SUPERLUKE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD+C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS, JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD, SUITE 200,  
 SCOTTSDALE, AZ 85251  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

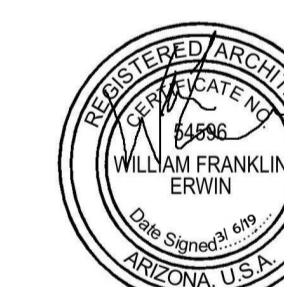
**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPSAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPSAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@MPECONSULT.COM  
 (P) 602.388.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

SHEET ISSUE/REV:

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Expires 6.30.19

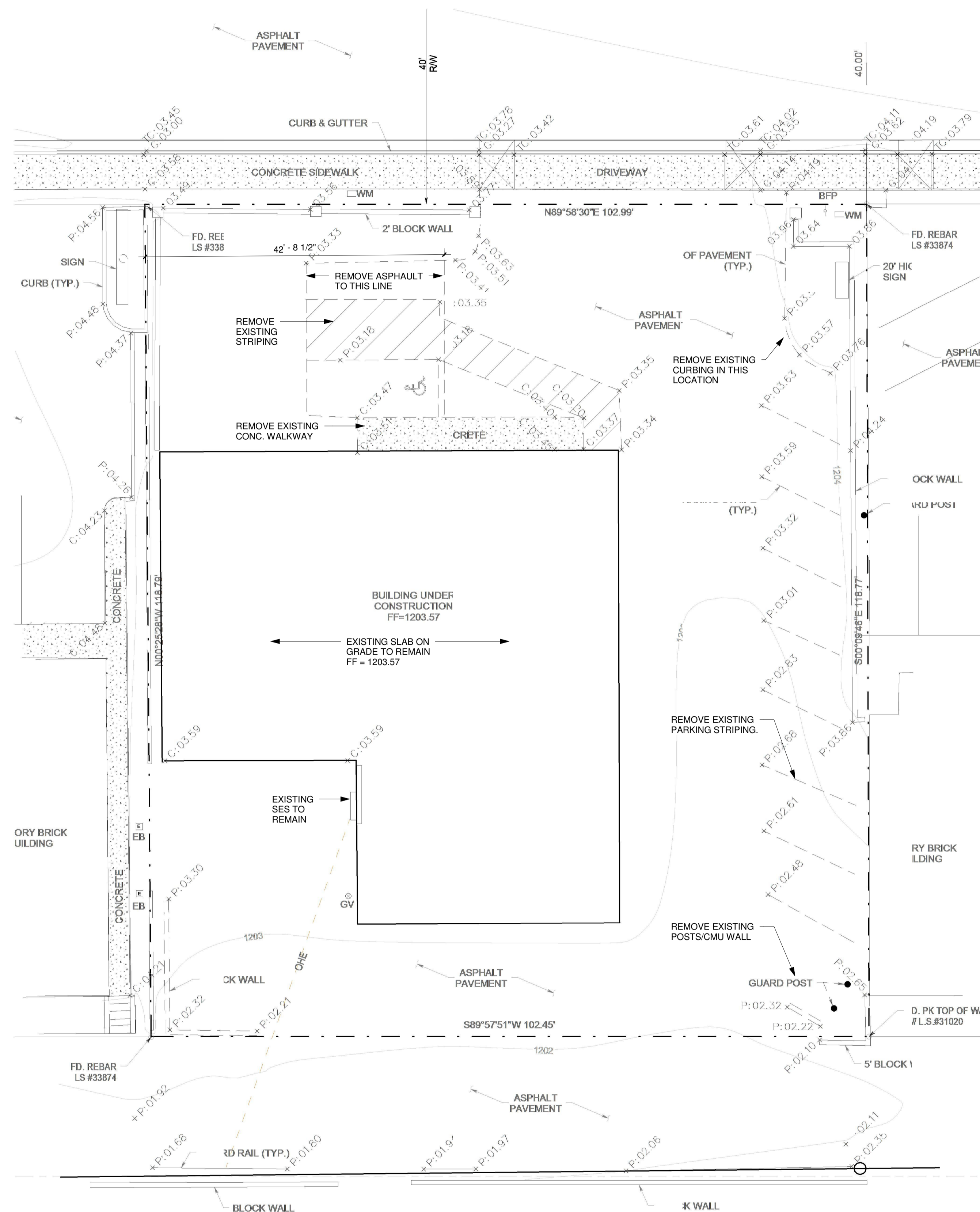
Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

SITE DEMO PLAN

Date 03/06/19

A101

Scale 1" = 10'-0"

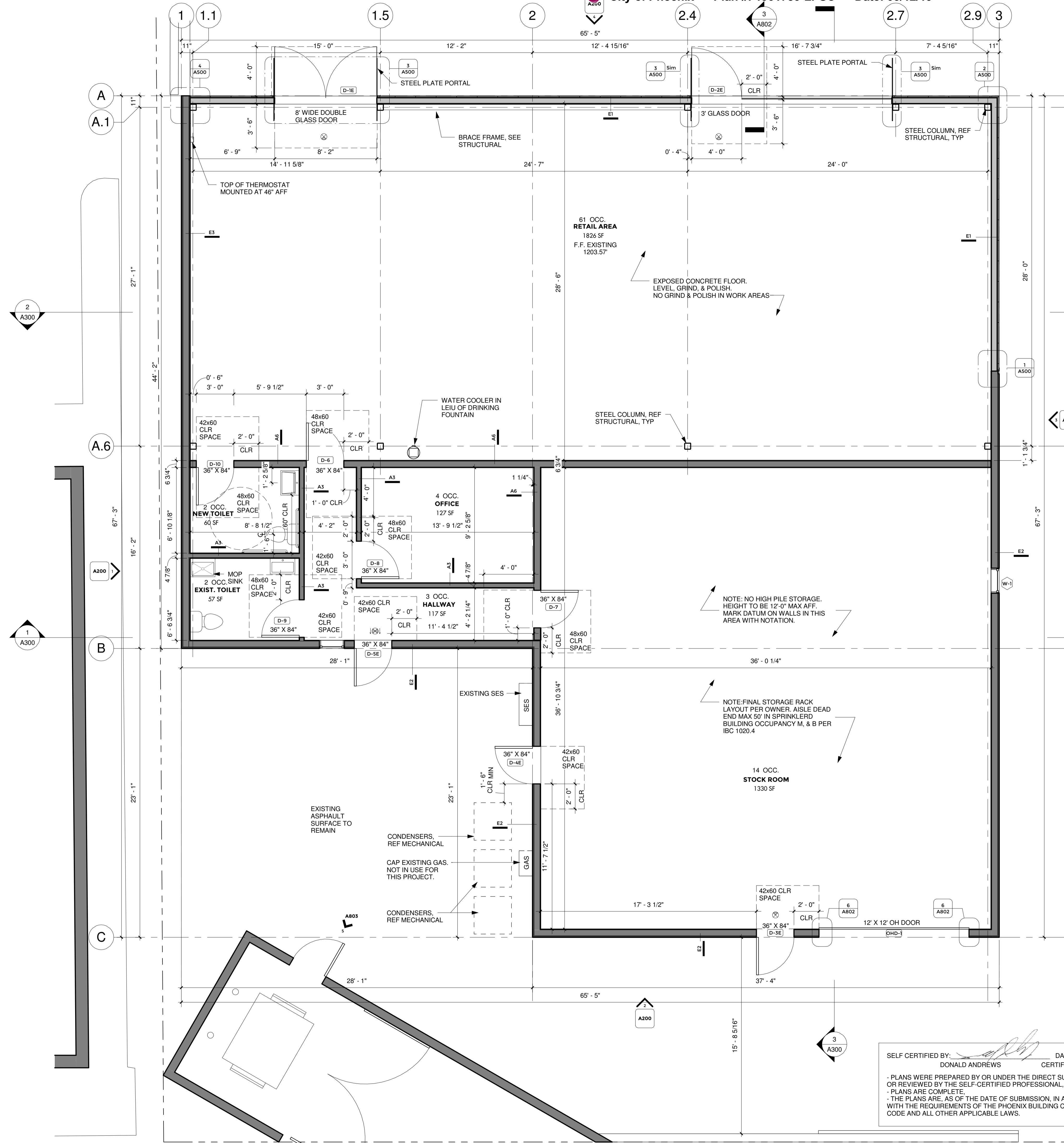


1 EXISTING SITE PLAN  
 1" = 10'-0"

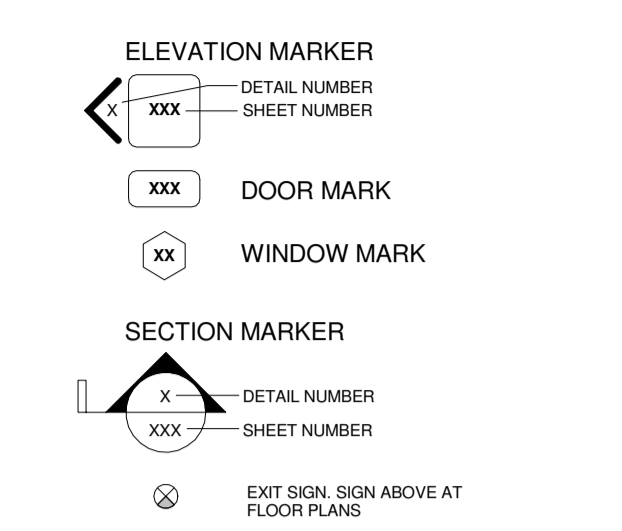
SELF CERTIFIED BY: *[Signature]* DATE: 03/06/2019  
 DONALD ANDREWS CERTIFICATE #45

- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF,  
 OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL,  
 - PLANS ARE COMPLETE,  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE  
 WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION  
 CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36



**SYMBOL LEGEND**



**WALL TYPES**

E1 SEE SHEET A103 ASSEMBLY TYPE INFORMATION

**FLOOR PLAN NOTES**

- G.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND NOTIFY DESIGNER OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- G.C. TO SUBMIT ALL SUBCONTRACTOR SHOP DRAWINGS AND SUBMITTALS TO DESIGNER AND/OR OWNER FOR APPROVAL BEFORE FABRICATION OR INSTALLATION OF ANY ITEMS. REQUIRED SHOP DRAWING SUBMITTALS INCLUDE, BUT ARE NOT LIMITED TO, MILLWORK, H.V.A.C., PLUMBING, ELECTRICAL, GLASS AND GLAZING, ALL ITEMS ON FINISH LEGEND, DOOR HARDWARE, 2X2 WALL FINISH SAMPLE, PAINTING AND WALL COVERING. DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS UNLESS PRIOR WRITTEN PERMISSION HAS BEEN OBTAINED FROM THE DESIGNER AND/OR OWNER. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO THE G.C.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
- G.C. TO COORDINATE AND INSTALL ALL APPLIANCES AS SHOWN IN DOCUMENTS. COORDINATE LOCATION, SIZE AND ALL REQUIRED PLUMBING AND ELECTRICAL CONNECTIONS. VERIFY SELECTION W/ OWNER/DESIGNER.
- U.N.O. INTERIOR PARTITIONS ARE DIMENSIONED TO FACE OF FINISH.
- REFER TO DOOR SCHEDULE FOR DOOR TYPES AND HARDWARE INFORMATION.
- U.N.O. OR WHEN CLEARANCE DOES NOT PERMIT, EDGE OF DOOR TO BE LOCATED 5" OFF PERPENDICULAR PTN. PROVIDE BACK TO BACK OR NESTED STUDS AT BOTH SIDES OF ALL NEW JAMB LOCATIONS.
- ALL BLOCKING TO COMPLY WITH APPLICABLE BUILDING AND FIRE ODE REQUIREMENTS. PROVIDE BLOCKING IN PARTITIONS AS REQUIRED O SECURE CABINETS, MARKER BOARDS, ETC. TO PARTITIONS.
- ALL MATERIALS AND COMPONENTS OF FIRE-RATED ASSEMBLIES SHALL BE APPROVED BY U.L. OR OTHER RECOGNIZED STANDARD FOR USE IN SUCH ASSEMBLIES.
- PATCH ANY EXISTING WALLS, PARTITIONS, COLUMNS, CONCRETE FLOORS, ETC. AS REQUIRED TO RECEIVE NEW FINISH.
- REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION
- ISOLATE CONTACT BETWEEN DISSIMILAR METALS
- PROVIDE CAULKING, SEALANT, & OTHER WEATHERPROOFING AT PENETRATIONS IN WALLS, CLGS, ROOF, & FLOORS FOR PLUMBING, ELEC. & OTHER OPENINGS IN BLDG. ENVELOPE.
- THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SUPERCEDES ANY DIMENSIONAL INFORMATION INDICATED. IF DISCREPANCIES OCCUR, NOTIFY ARCHITECT.
- THE WORD 'PROVIDE' AS USED IN THESE DOCUMENTS MEANS FURNISH AND INSTALL.
- THE WORD 'CLEAR' AND 'CLR' AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE DESIGNER. CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE OF MAJOR SURFACE. COORDINATE REQUIREMENTS FOR BASE BOARD OR OTHER PROTRUSIONS.
- THE WORD 'MAXIMUM' AND 'MAX' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE DESIGNER.
- THE WORD 'MINIMUM' AND 'MIN' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE DESIGNER.
- THE WORD 'TYPICAL' AND 'TYP' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT.
- FIRE RISER TO BE COORDINATED UNDER SEPARATE SUBMITTAL / FIRELINE PLAN.

**ERWIN | ARCHITECTURE DEVELOPMENT**

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
 THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
 DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**  
**OWNER**  
 SUPERLUKE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653  
**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD+C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372  
**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478  
**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD, SUITE 200,  
 SCOTTSDALE, AZ 85201  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387  
**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPAS@UNITEDSTR.COM  
 (P) 480.382.9768  
**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DANEM@PECONSULT.COM  
 (P) 602.388.1716  
**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

**FLOOR PLAN**

Date 03/06/19

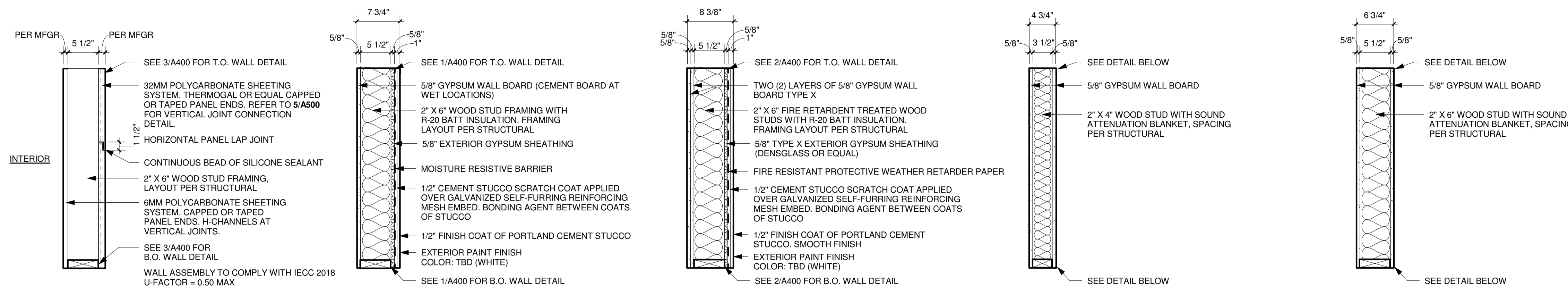
**A102**

Scale 1/4" = 1'-0"

SELF CERTIFIED BY: DONALD ANDREWS DATE: 03/06/2019  
 CERTIFICATE #45993  
 - PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
 - PLANS ARE COMPLETE.  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36

1 LEVEL 1 - DIMENSIONED FLOOR PLAN  
 1/4" = 1'-0"



**E-1 EXTERIOR WALL**

**POLYCARBONATE PANEL SYSTEM**  
 FENESTRATION IS LESS THAN 30% OF EXTERIOR ENVELOPE. SEE CALCULATION BELOW  
 U-FACTOR FOR FIXED FENESTRATION IS 0.50 MAX (TABLE C402.4.1).  
 SHGC MAX (TABLE C402.4.1):  
 0.25 EAST WALL  
 0.33 NORTH WALL

**E-2 EXTERIOR WALL**

**NON-RATED EXTERIOR STUCCO WALL**  
 R-20 MIN PER IECC TABLE C402.1.3  
 CLIMATE ZONE 2B

**E-3 EXTERIOR WALL**

**2-HOUR RATED EXTERIOR STUCCO WALL**  
 FIRE TEST REFERENCE:  
 UC 12-21-67, GA WP 84202  
 SEE GENERIC ASSEMBLY TYPE INFORMATION BELOW.  
 R-20 MIN PER IECC TABLE C402.1.3  
 CLIMATE ZONE 2B

**A-3 INTERIOR WALL**

**A-6 INTERIOR WALL**

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
 THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
 DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**

**OWNER**  
 SUPERLUKE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD+C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

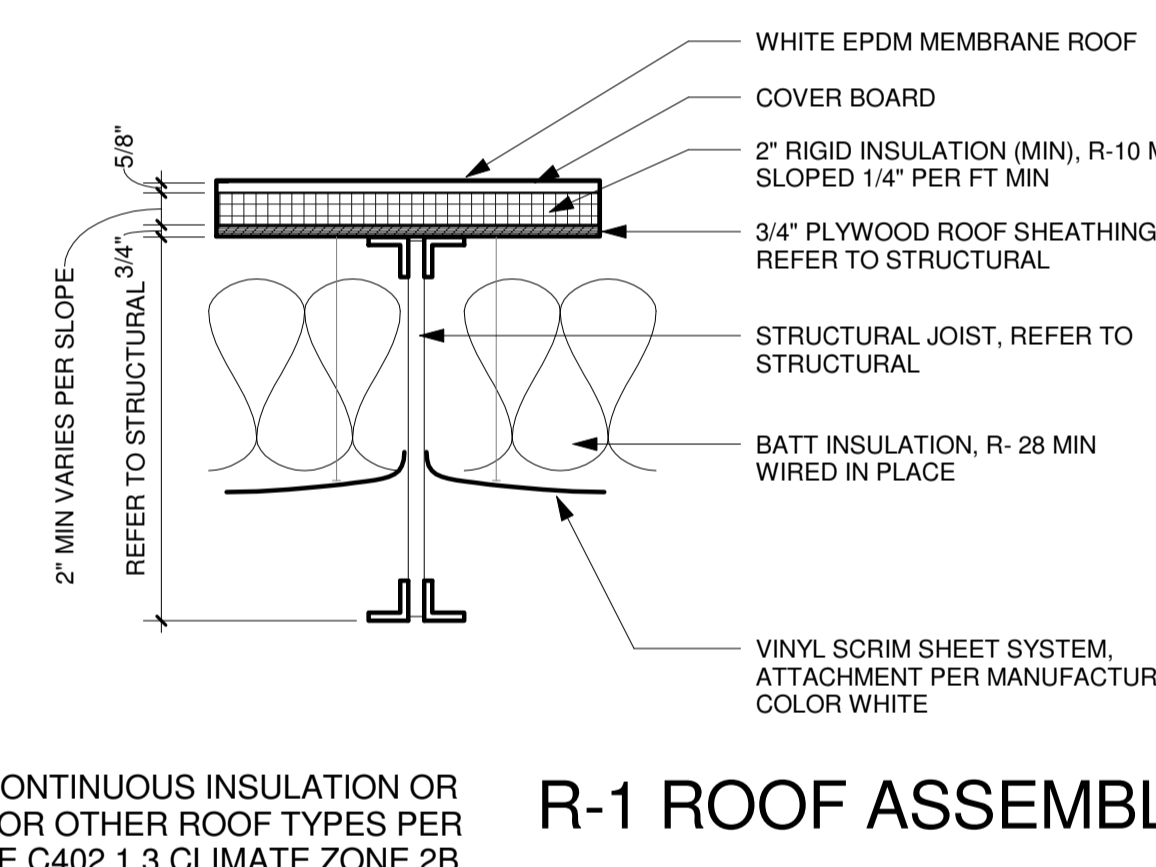
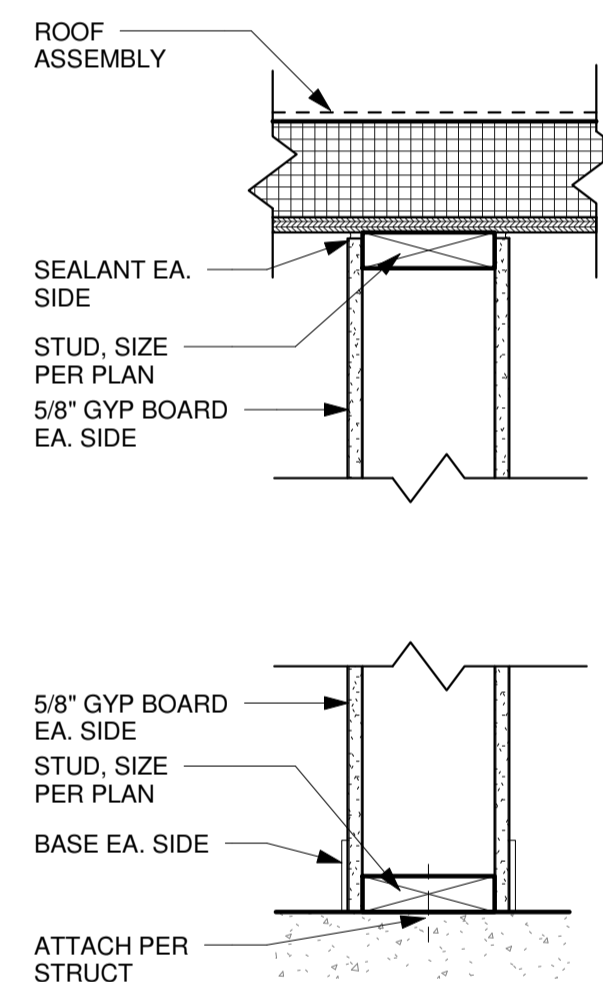
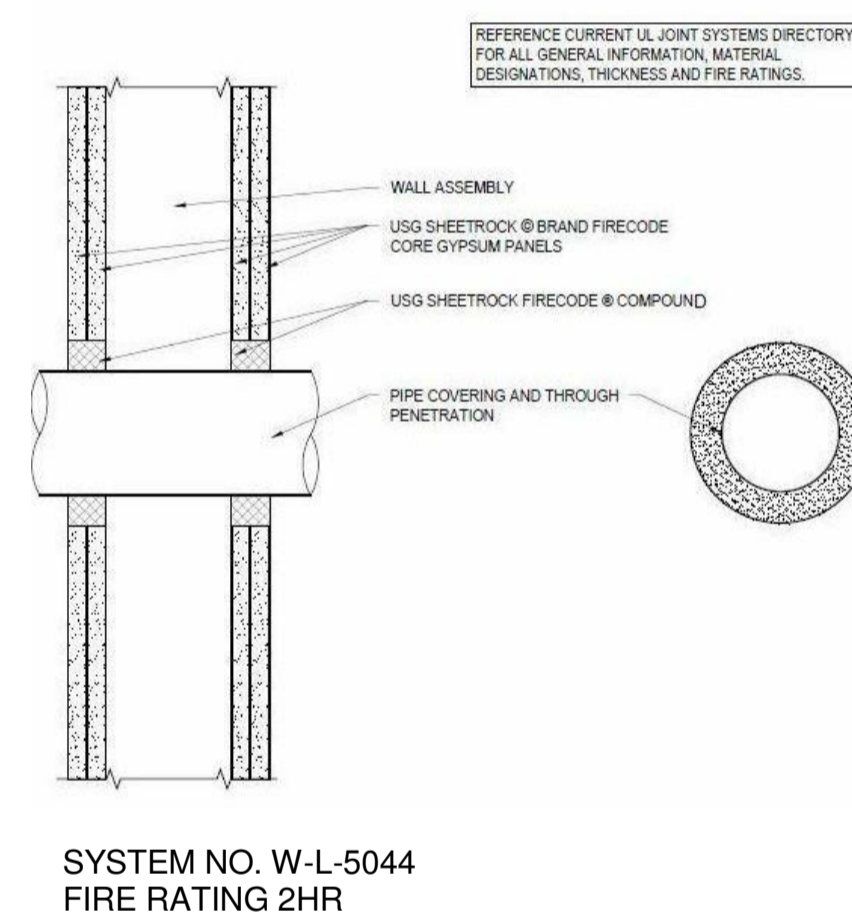
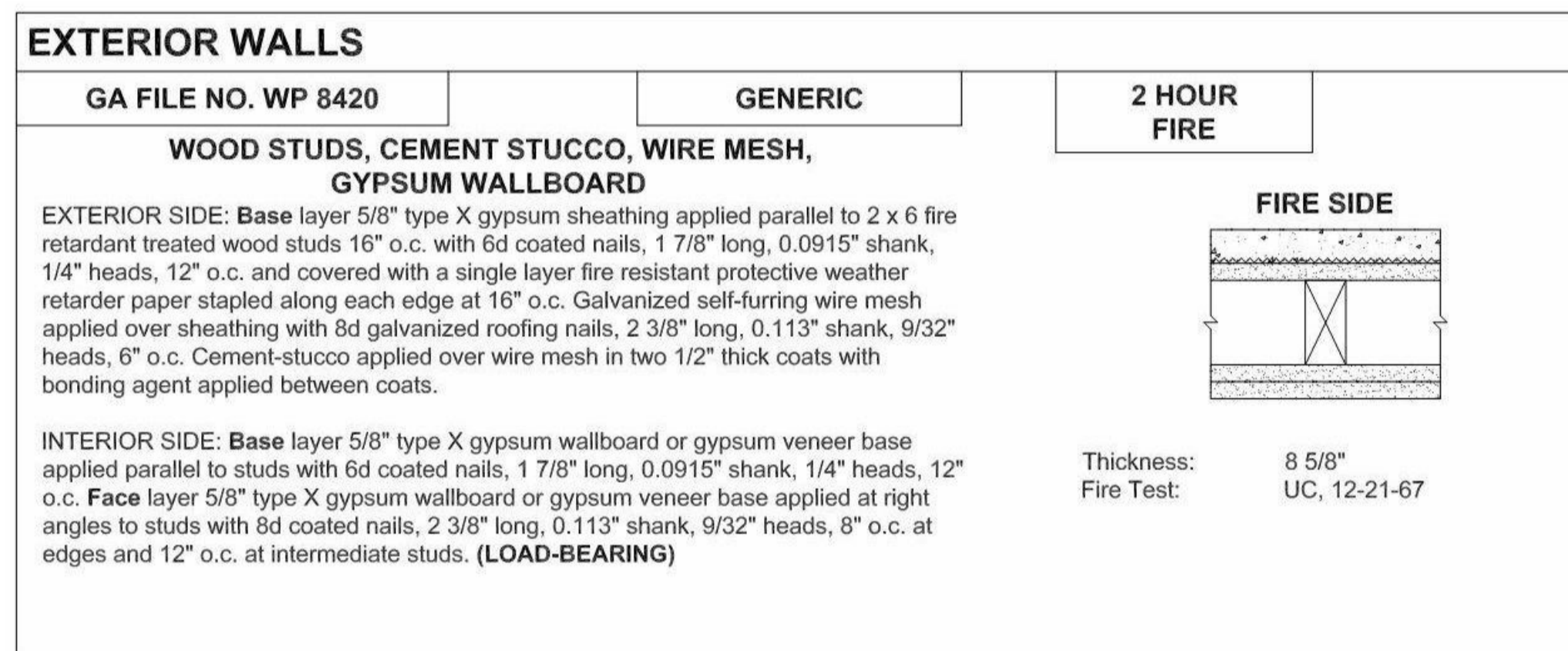
**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD, SUITE 200,  
 SCOTTSDALE, AZ 85021  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPSAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPSAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@MPECONSULT.COM  
 (P) 602.388.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

**WALL ASSEMBLY TYPES**



**FIRE RATED EXTERIOR WALL ASSEMBLY INFORMATION**

**WALL PENETRATION DETAIL**

**TOP & B.O. WALL & INTERIOR PARTITION**

**ROOF ASSEMBLY**

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19

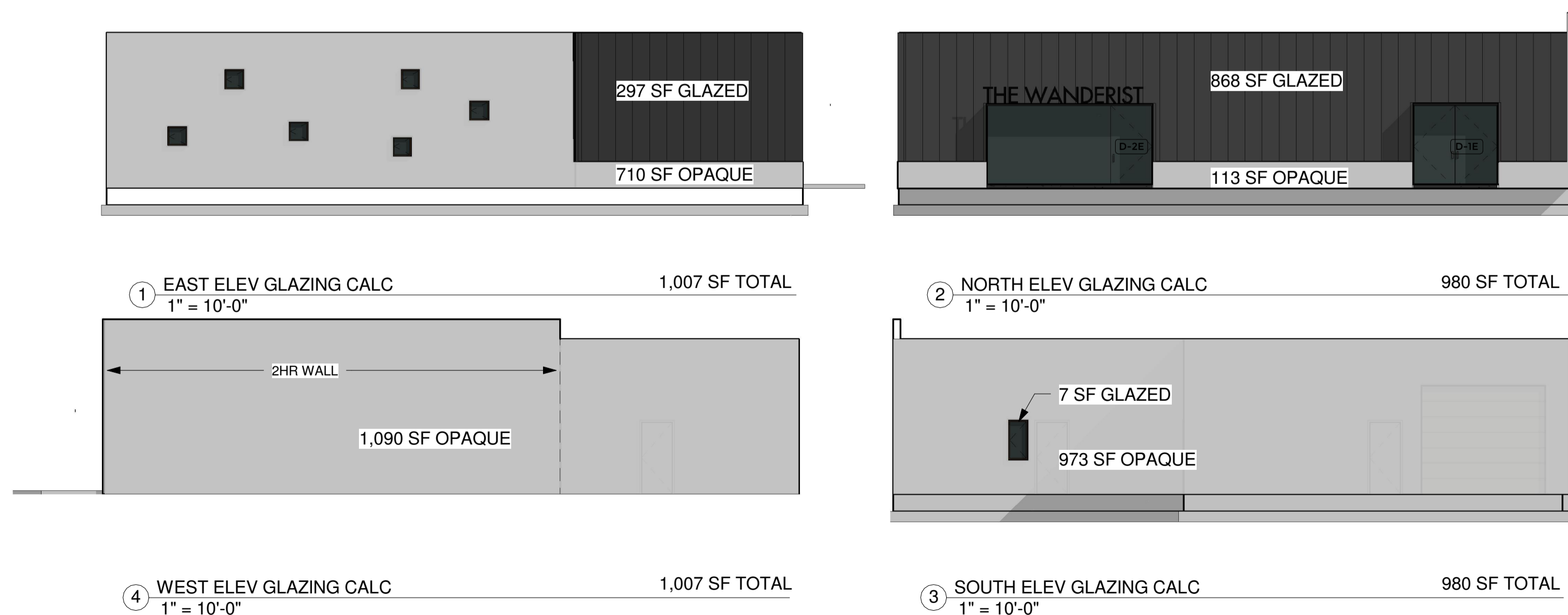
Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

**ASSEMBLY TYPE INFORMATION**

Date 03/06/19

**A103**

Scale As indicated



GLAZING CALCULATION FOR IECC C402.4.1 REQUIRES THAT VERTICAL FENESTRATION AREA IS NO MORE THAN 30% MAX OF TOTAL GROSS ABOVE GRADE WALL AREA.

TOTAL BUILDING WALL SF = 4,058 SF

2,886 SF OPAQUE (71.1%)  
 1,172 SF GLAZED (28.9%)

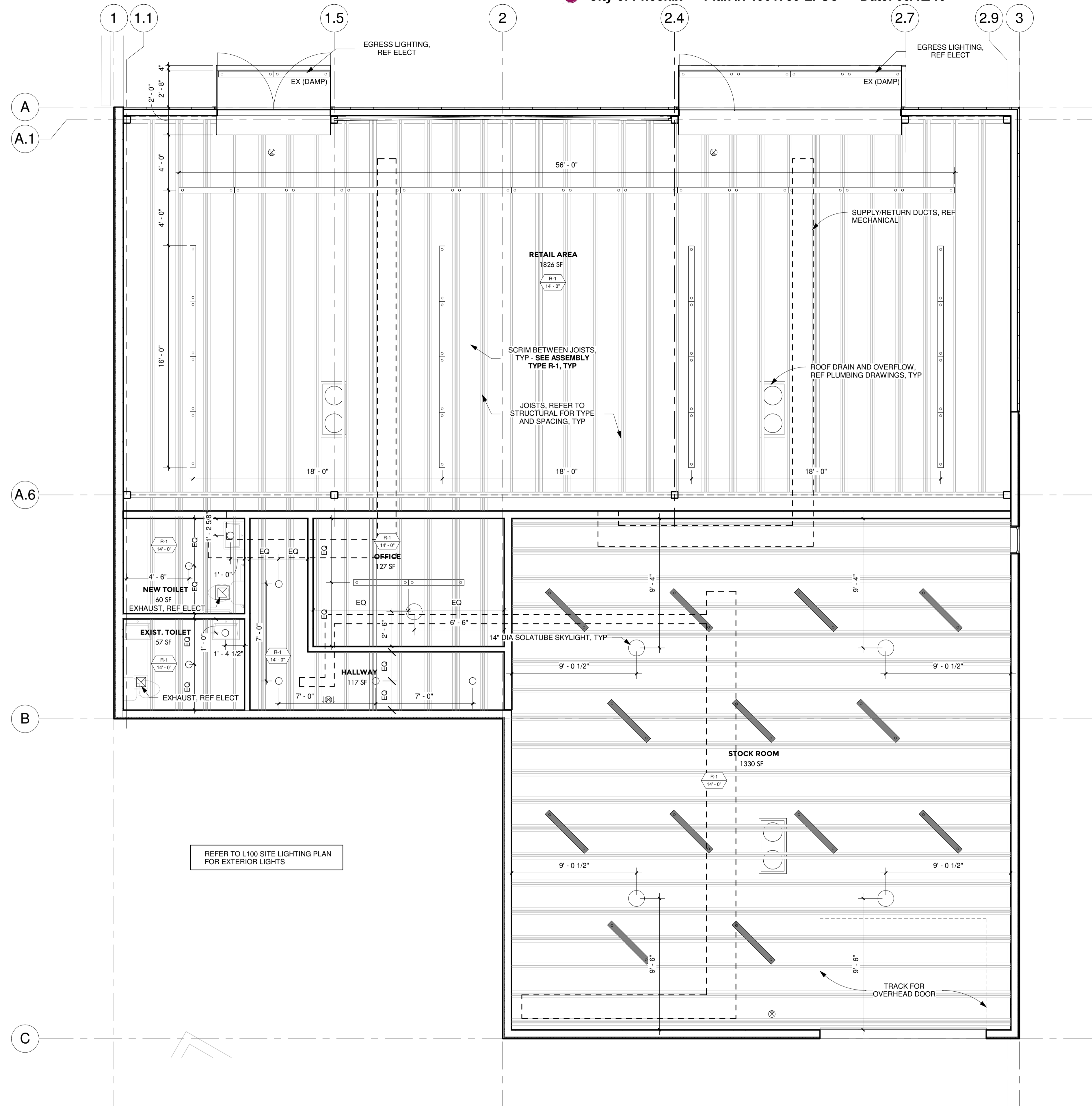
**REQUIREMENT SATISFIED AS GLAZED/ VERTICAL FENESTRATION IS LESS THAN 30%.**

SELF CERTIFIED BY: DONALD ANDREWS DATE: 03/06/2019 CERTIFICATE #45

- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
 - PLANS ARE COMPLETE.  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36

**GLAZING CALCULATION**



**RCP LEGEND**

- TYPE A REFER TO L101 FOR INFORMATION
  - TYPE B REFER TO L101 FOR INFORMATION
  - ▭ TYPE C REFER TO L101 FOR INFORMATION
  - ☒ EXHAUST FAN
  - ☒ SUPPLY REGISTER
  - ☒ RETURN REGISTER
  - ⊙ SMOKE DETECTOR
  - WL FIXTURE RATED FOR WET LOCATION
  - EX FIXTURE RATED FOR EXTERIOR USE
  - ⊗ EXIT SIGN, SIGN ABOVE AT FLOOR PLANS
- FIRE SPRINKLER UNDER SEPARATE PERMIT

**ERWIN | ARCHITECTURE DEVELOPMENT**

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
 THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
 DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**

**OWNER**  
 SUPERLUKE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD+C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS, JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD., SUITE 200,  
 SCOTTSDALE, AZ 85251  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

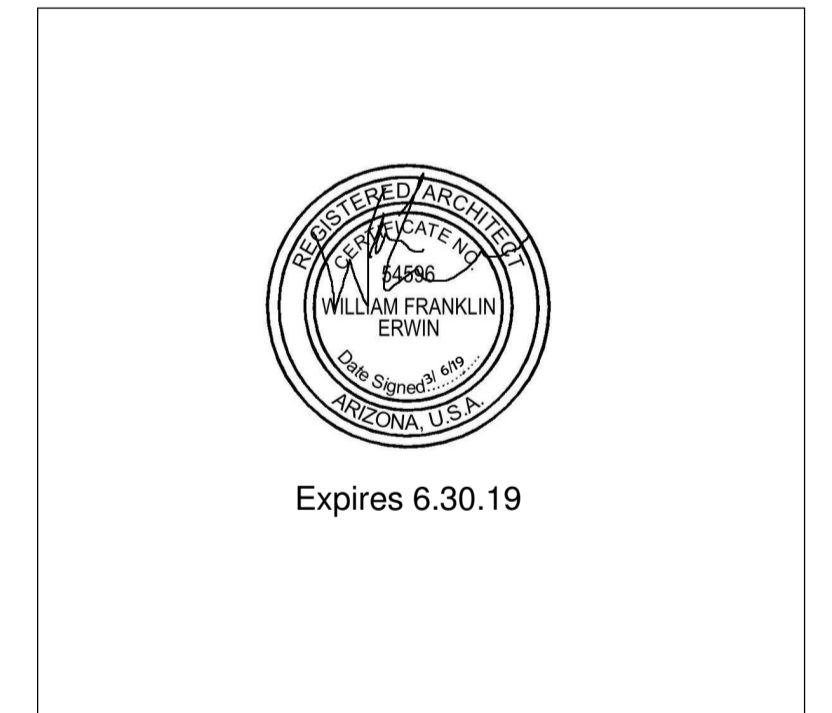
**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPSAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPSAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@MPECONSULT.COM  
 (P) 602.388.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

**REFLECTED CEILING PLAN**

Date 03/06/19

**A110**

Scale 1/4" = 1'-0"

1 LEVEL 1 - RCP NEW  
 1/4" = 1'-0"

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Wattage Per Lamp	Light Loss Factor	Wattage
○	A	32	Fluorescent Hummelton Inc	ARC R D D 35 R XX S E1	LED LINEAR DIRECT/INDIRECT HINGE (R/A) LIGHTING PER PLAN	200 White LED	1	ARC-DD35 PHE1200WV101	3956	0.91	34.31
○	B	8	Uthmanya Lighting	LONG CYL 35115 L06AR L55 PH	6IN LONG CYLINDER, 3500K, 1500LM, BUCK, CLEAR, SENS: SPECULAR REFLECTOR	LED	1	LONG_CYL_35_15_L06AR AR_L55.ph	1526	0.91	20.48
○	C	14	Uthmanya Lighting	CLX L48 4800LM SEP RFL PWOL1 5210 35K B0C21	CLX LED Linear 48" 4,000 lumens, Standard Efficiency, Lens (upset), Round diffuse lens, General distribution, PWOL1, D-102, dimming, 3500 CCT, 60 CRI	LED	1	CLX_L48_4800LM SEP_RFL_PWOL1_5210_35K_B0C21 R1.ph	3765	0.91	27.58

FOR MORE INFORMATION, REF L101

SELF CERTIFIED BY: *[Signature]* DATE: 03/06/2019  
 DONALD ANDREWS CERTIFICATE #45

- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF,  
 OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
 - PLANS ARE COMPLETE.  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE  
 WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION  
 CODE AND ALL OTHER APPLICABLE LAWS.



**ROOF PLAN NOTES**

1. REFER TO A103 FOR ROOF ASSEMBLY TYPE INFORMATION
2. ROOF SLOPE 1/4" PER FOOT MIN.
3. SEE A803 FOR TYP. PLUMBING VENT DETAIL

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.

THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.

DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**

**OWNER**  
 SUPERLUKE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD+C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS, JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD, SUITE 200,  
 SCOTTSDALE, AZ 85251  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

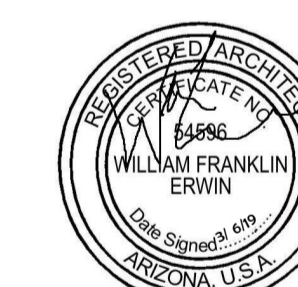
**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPSAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPSAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@MPECONSULT.COM  
 (P) 602.388.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Expires 6.30.19

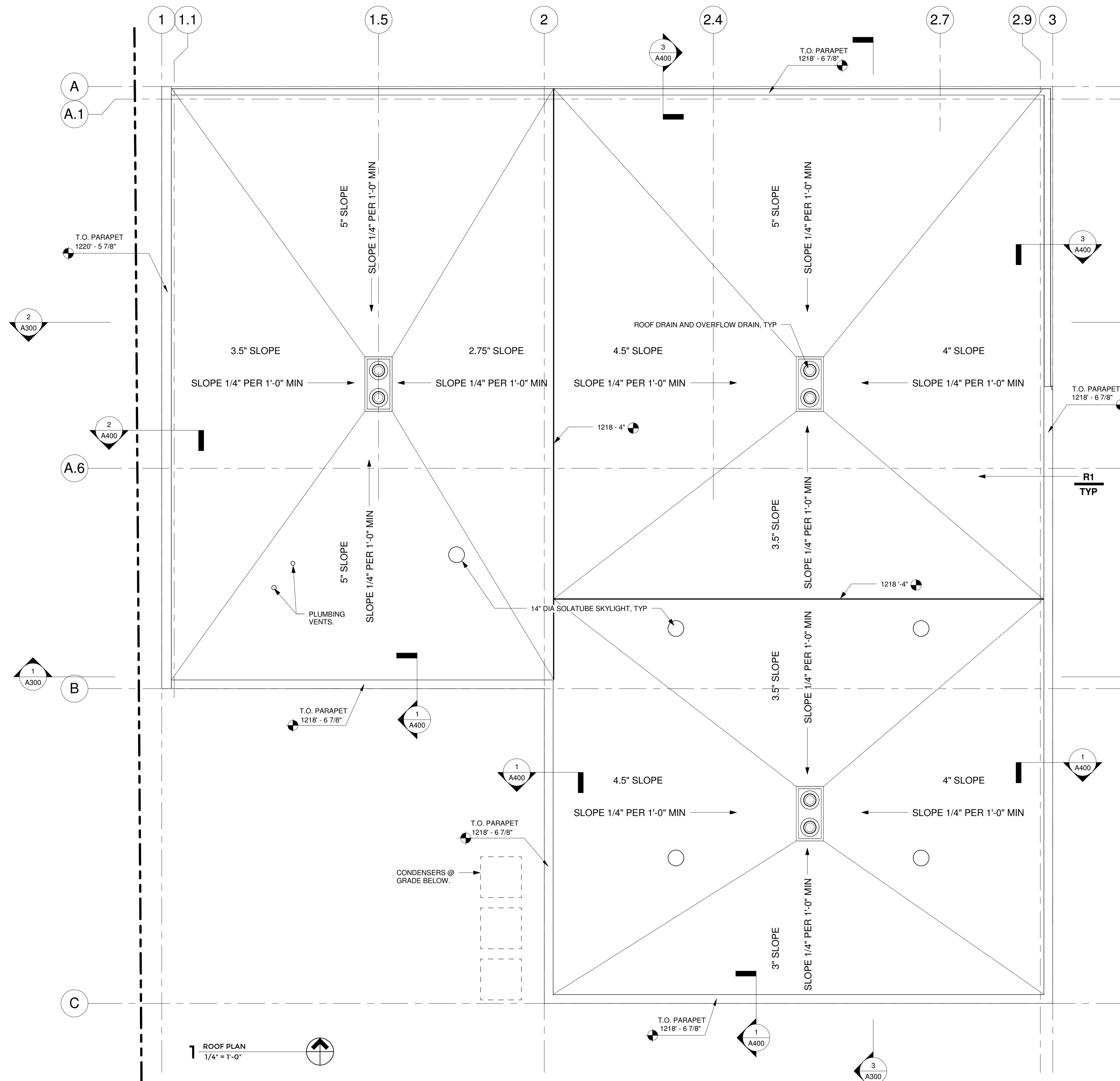
Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

**ROOF PLAN**

Date 03/06/19

**A120**

Scale 1/4" = 1'-0"



1 ROOF PLAN  
 1/4" = 1'-0"

SELF CERTIFIED BY: *[Signature]* DATE: 03/06/2019  
 DONALD ANDREWS CERTIFICATE #45

- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
 - PLANS ARE COMPLETE.  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
 THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
 DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**

**OWNER**  
 SUPERLUKE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD+C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS, JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD., SUITE 200,  
 SCOTTSDALE, AZ 85251  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPSAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPSAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@MPECONSULT.COM  
 (P) 602.388.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Expires 6.30.19

Owner **JONATHAN PITT**  
 Proj. Name **WANDERIST OFFICE & RETAIL**

**ELEVATIONS**

Date **03/06/19**

**A200**

Scale **1/4" = 1'-0"**

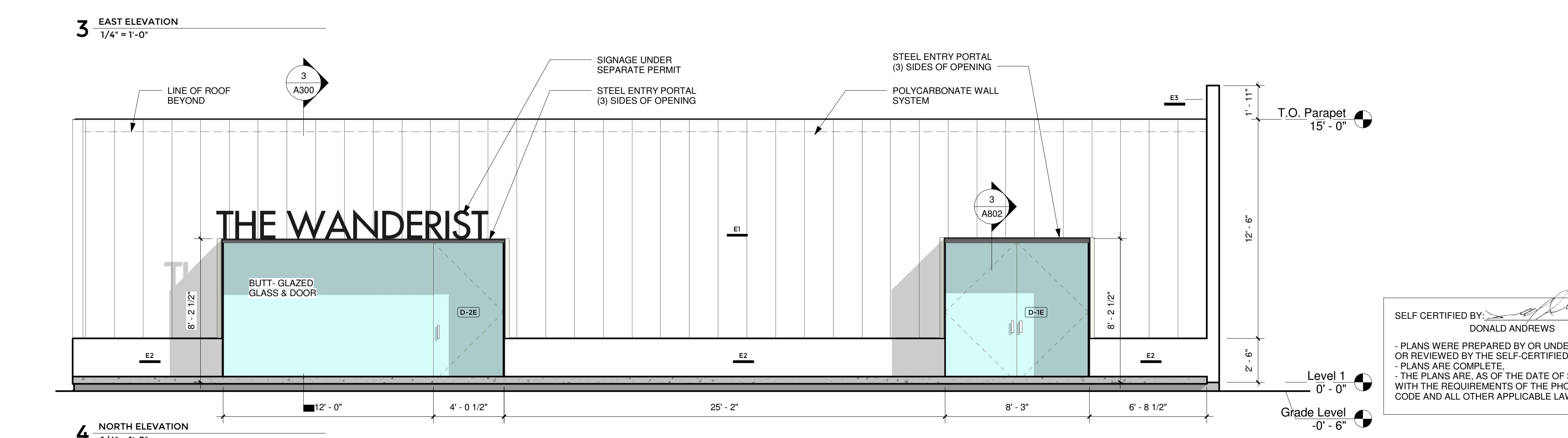
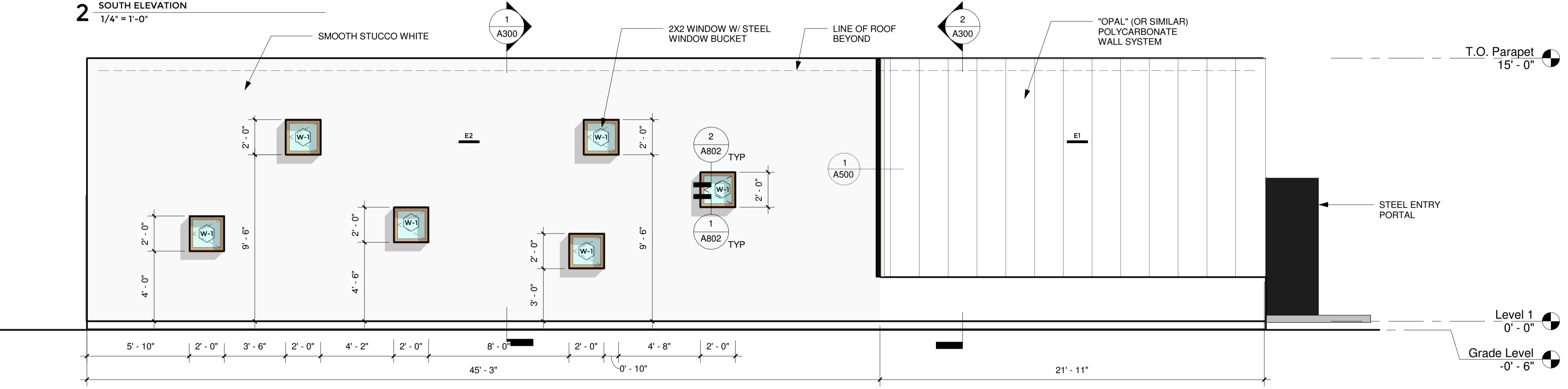
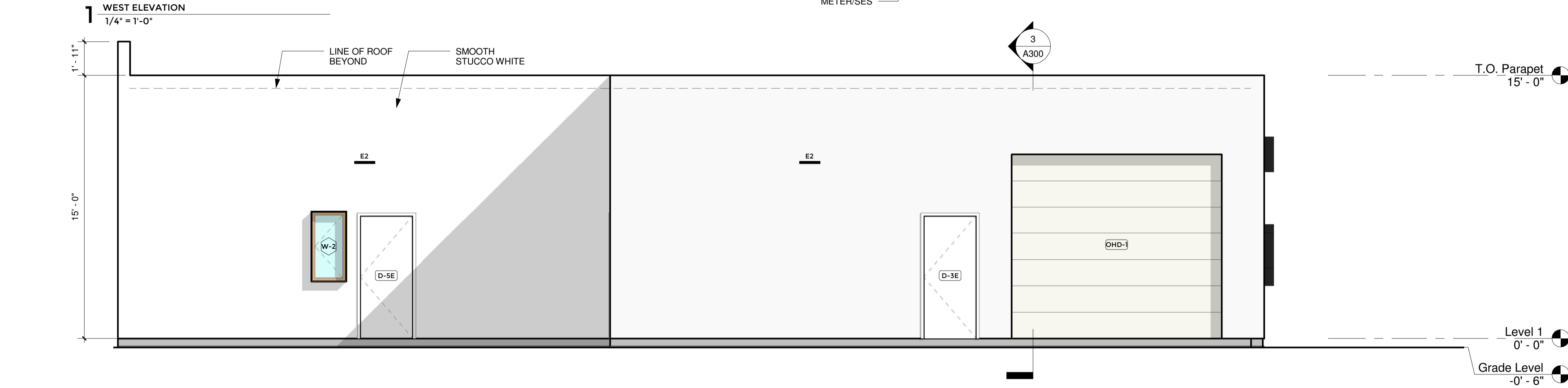
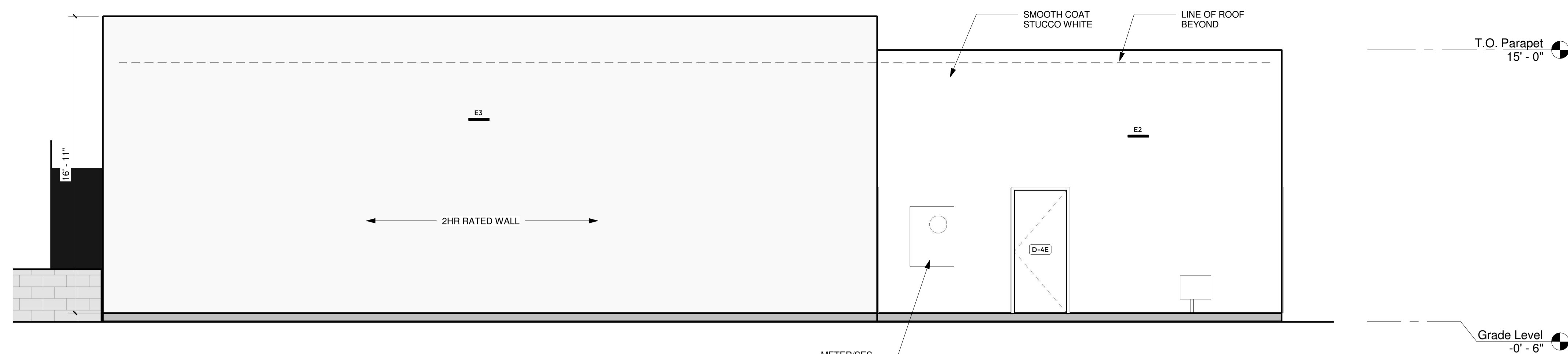
KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36

**SYMBOL LEGEND**

- ELEVATION MARKER**  
 ◁ --- DETAIL NUMBER  
 XXX --- SHEET NUMBER
- XXX DOOR MARK  
 XX WINDOW MARK
- SECTION MARKER**  
 X --- DETAIL NUMBER  
 XXX --- SHEET NUMBER
- ⊗ EXIT SIGN, SIGN ABOVE AT FLOOR PLANS

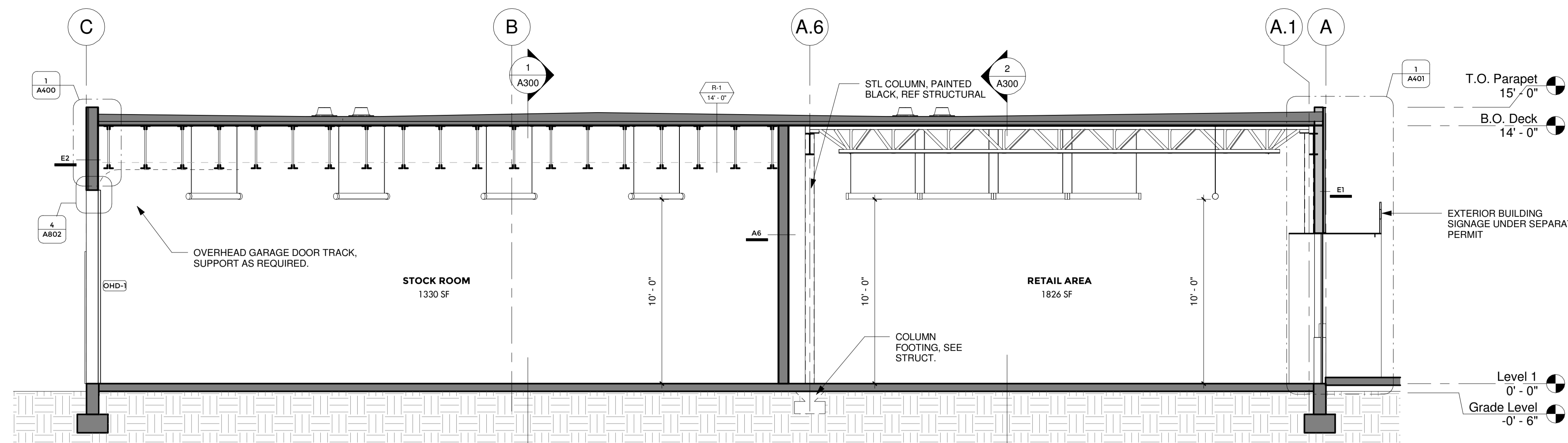
**WALL TYPES**

E1 SEE SHEET A103 ASSEMBLY TYPE INFORMATION

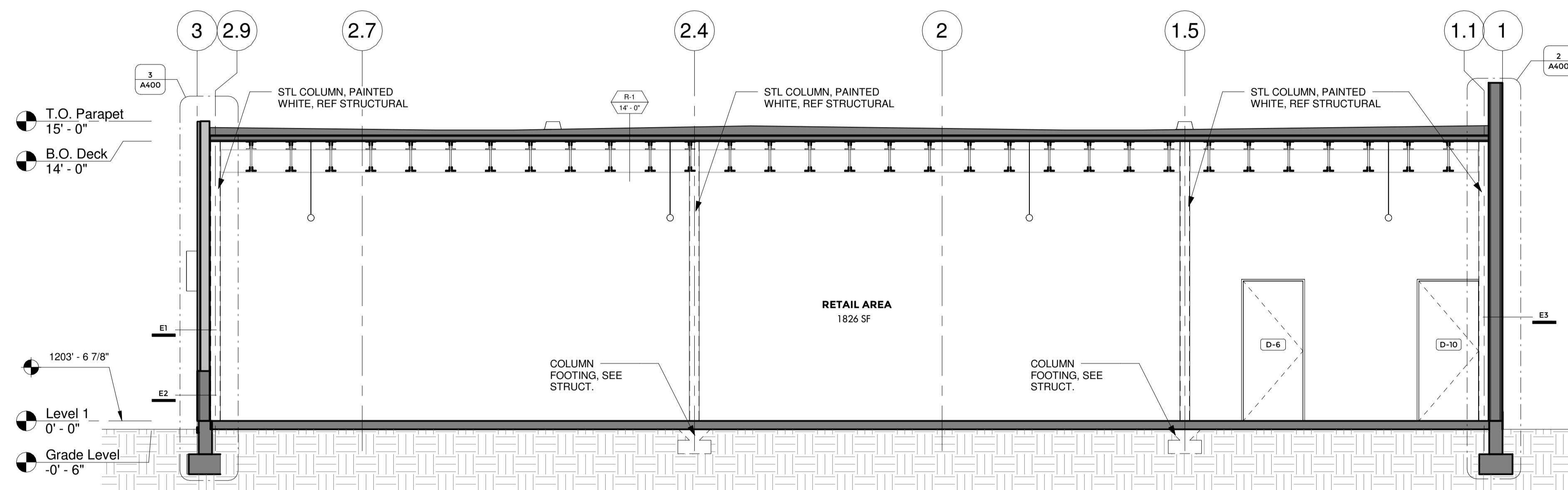


SELF CERTIFIED BY: *[Signature]* DATE: 03/08/2019  
 DONALD ANDREWS CERTIFICATE #45

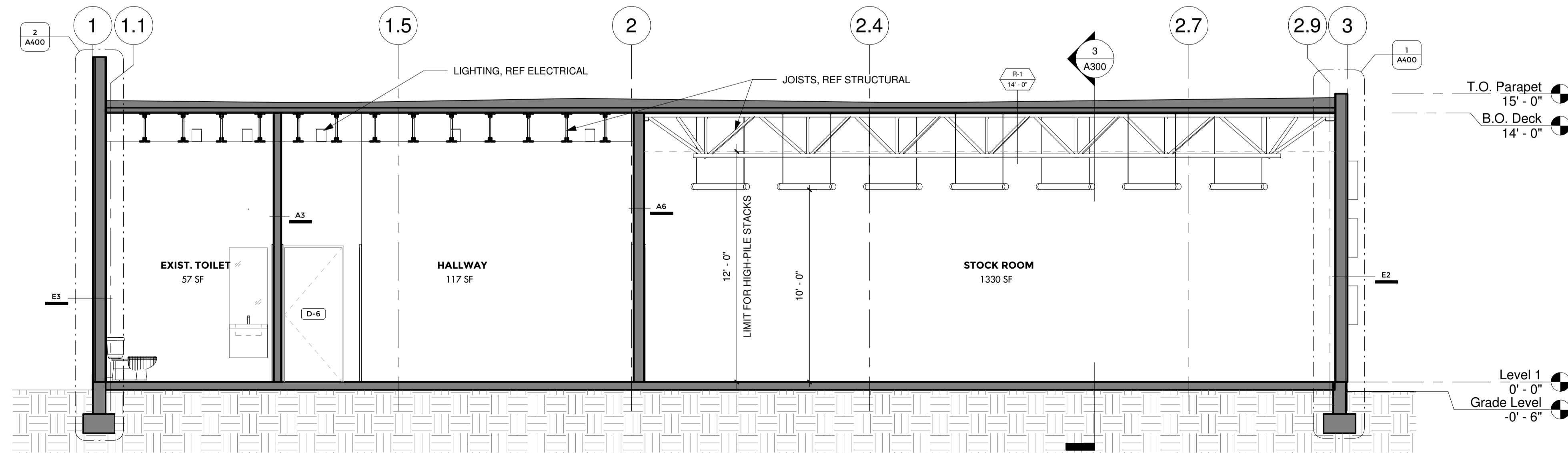
- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
 - PLANS ARE COMPLETE.  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.



3 BUILDING SECTION 3  
1/4" = 1'-0"



2 BUILDING SECTION 2  
1/4" = 1'-0"



1 BUILDING SECTION 1  
1/4" = 1'-0"

**SYMBOL LEGEND**

- ELEVATION MARKER  
[Symbol] DETAIL NUMBER  
[Symbol] SHEET NUMBER
- DOOR MARK  
[Symbol]
- WINDOW MARK  
[Symbol]
- SECTION MARKER  
[Symbol] DETAIL NUMBER  
[Symbol] SHEET NUMBER
- EXIT SIGN, SIGN ABOVE AT FLOOR PLANS  
[Symbol]

**WALL TYPES**

E1 SEE SHEET A103 ASSEMBLY TYPE INFORMATION

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**

**OWNER**  
SUPERLUKE SCREEN PRINTING  
JONATHAN PITT  
(E) JON@THEWANDERIST.COM  
(P) 480.247.6653

**ARCHITECT**  
ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
WILLIAM ERWIN, AIA, LEED AP BD+C  
(E) WILL@ERWINARCHITECTURE.COM  
(P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
ANDREWS DESIGN GROUP INC.  
DON ANDREWS, JR.  
(E) DON@ADGARCH.NET  
(P) 480.894.3478

**CIVIL**  
3 ENGINEERING  
DAN MANN, P.E.  
6370 E. THOMAS RD., SUITE 200,  
SCOTTSDALE, AZ 85251  
(E) DAN@3ENGINEERING.COM  
(P) 602.334.4387

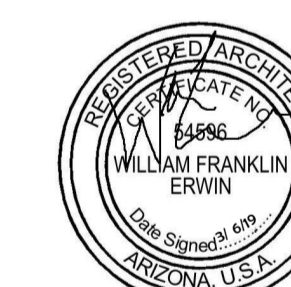
**STRUCTURAL**  
UNITED STRUCTURAL DESIGN  
DAVID GRAPSAS, P.E., S.E.  
2058 S. DOBSON ROAD, SUITE 10  
MESA, AZ 85202  
(E) DGRAPSAS@UNITEDSTR.COM  
(P) 480.382.9768

**MEP**  
PETERSON ENGINEERING  
DAVID MCKERCHER  
7201 N. DREAMY DRAW DRIVE, SUITE 200  
PHOENIX, AZ 85020  
(E) DANEM@MPECONSULT.COM  
(P) 602.388.1716

**LANDSCAPE**  
NORRIS DESIGN  
JOEL THOMAS  
(E) JTHOMAS@NORRIS-DESIGN.COM  
(P) 512.900.7888

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Expires 6.30.19

Owner JONATHAN PITT  
Proj. Name WANDERIST OFFICE & RETAIL

**BUILDING SECTIONS**

Date 03/06/19

**A300**

Scale 1/4" = 1'-0"

SELF CERTIFIED BY: DONALD ANDREWS DATE: 03/08/2019  
CERTIFICATE #45

- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF,  
OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL,  
- PLANS ARE COMPLETE,  
- THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE  
WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION  
CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
SDEV #1800276  
PAPP #1806619  
PRLC  
QS Q16-36

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
 THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
 DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

CONTACTS:

**OWNER**  
 SUPERLUKE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD+C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS, JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD, SUITE 200,  
 SCOTTSDALE, AZ 85251  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPSAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPSAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@PECONSULT.COM  
 (P) 602.388.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

SHEET ISSUE/REV:

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

SECTION DETAILS

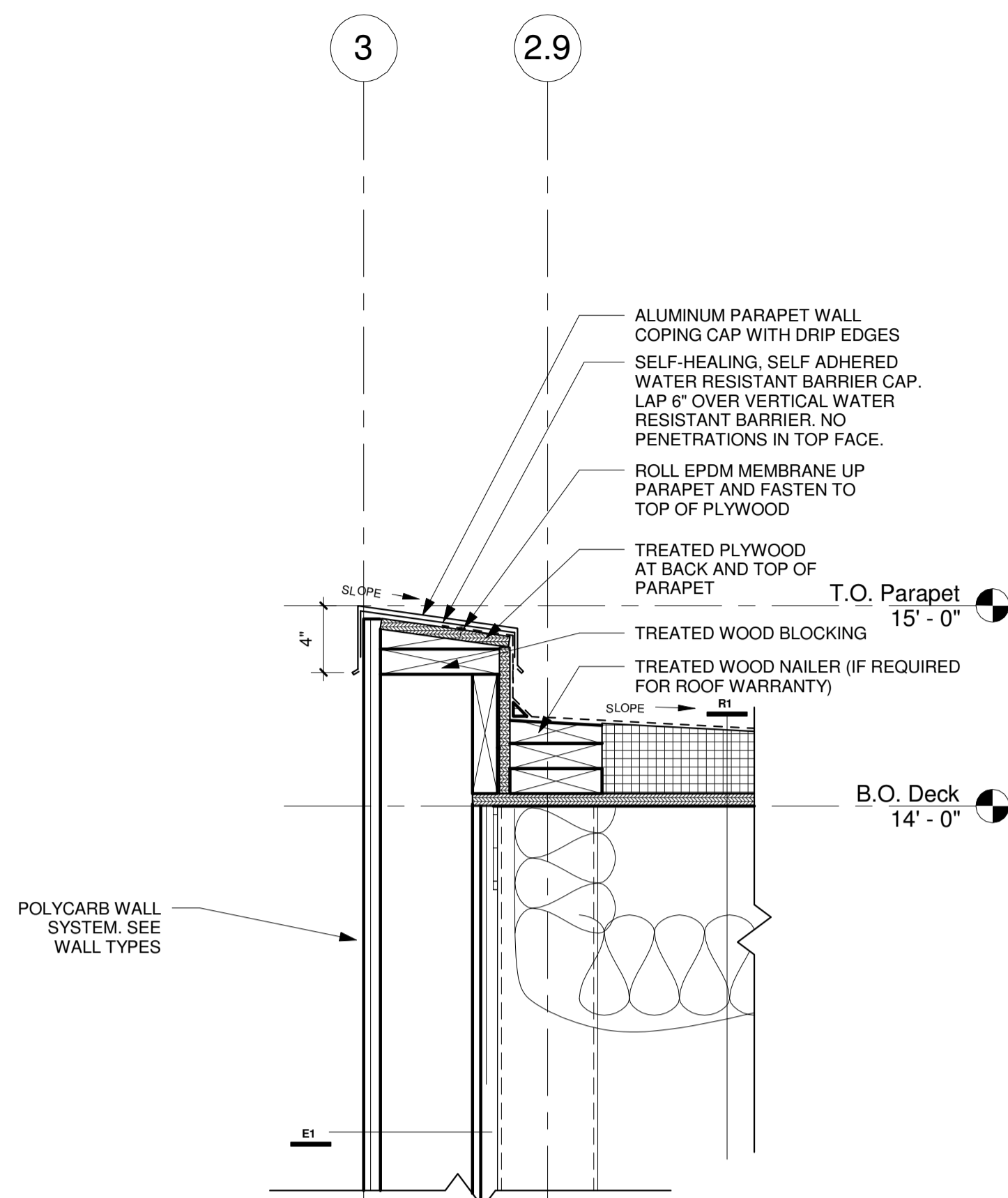
Date 03/06/19

A400

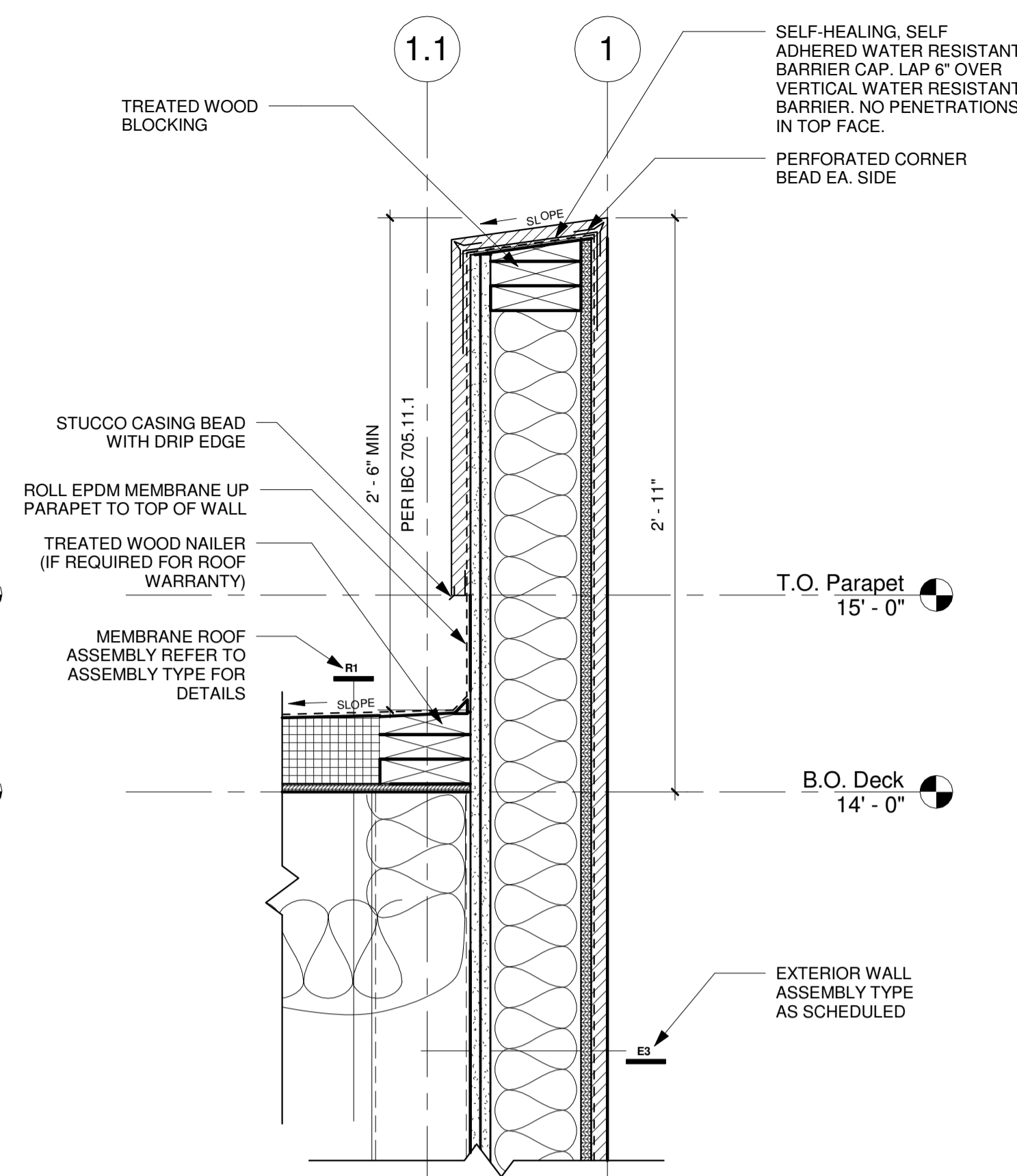
Scale 1 1/2" = 1'-0"

KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36

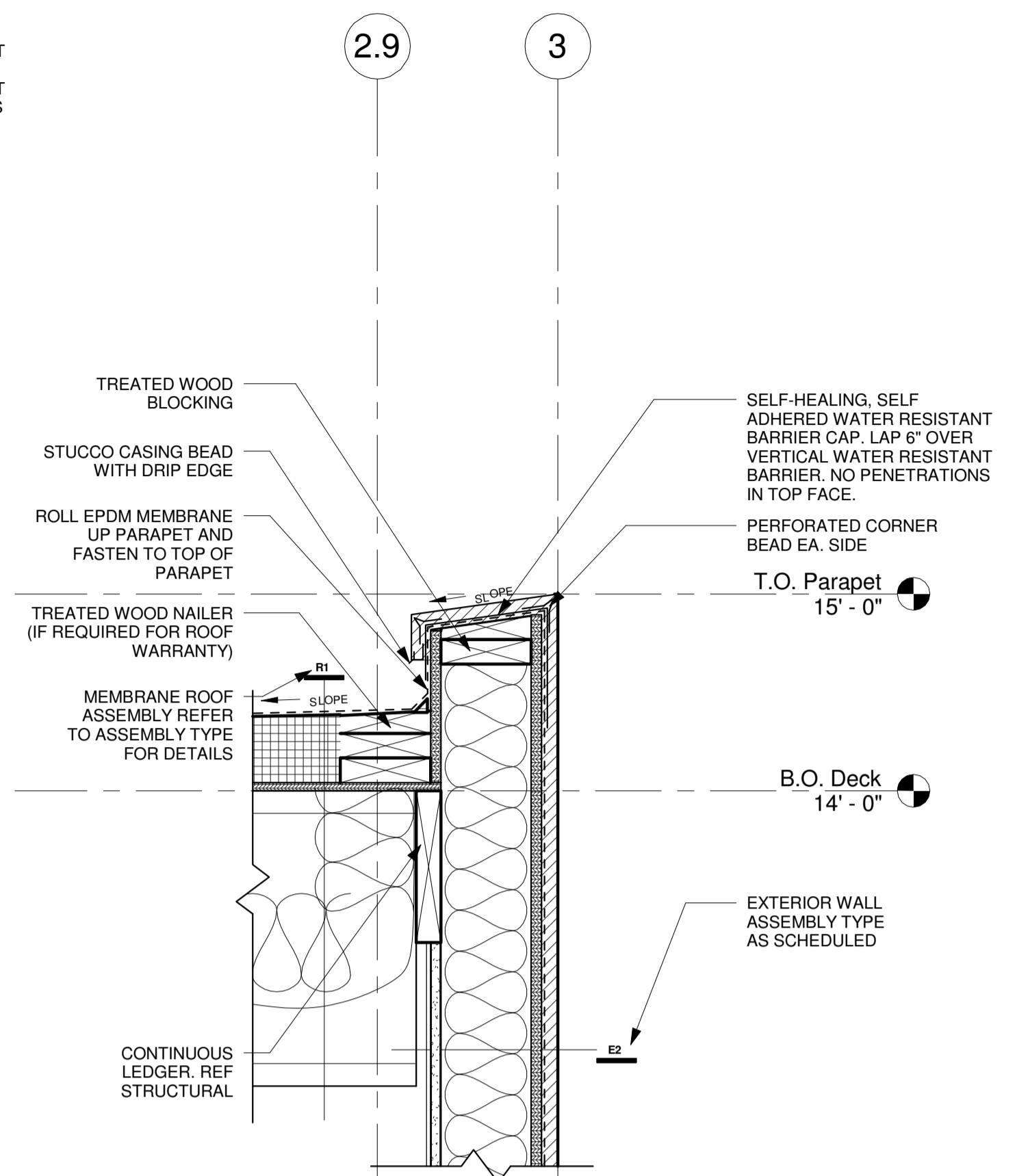
SELF CERTIFIED BY: *[Signature]* DATE: 03/06/2019  
 DONALD ANDREWS CERTIFICATE #45  
 - PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF,  
 OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL,  
 - PLANS ARE COMPLETE,  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE  
 WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION  
 CODE AND ALL OTHER APPLICABLE LAWS.



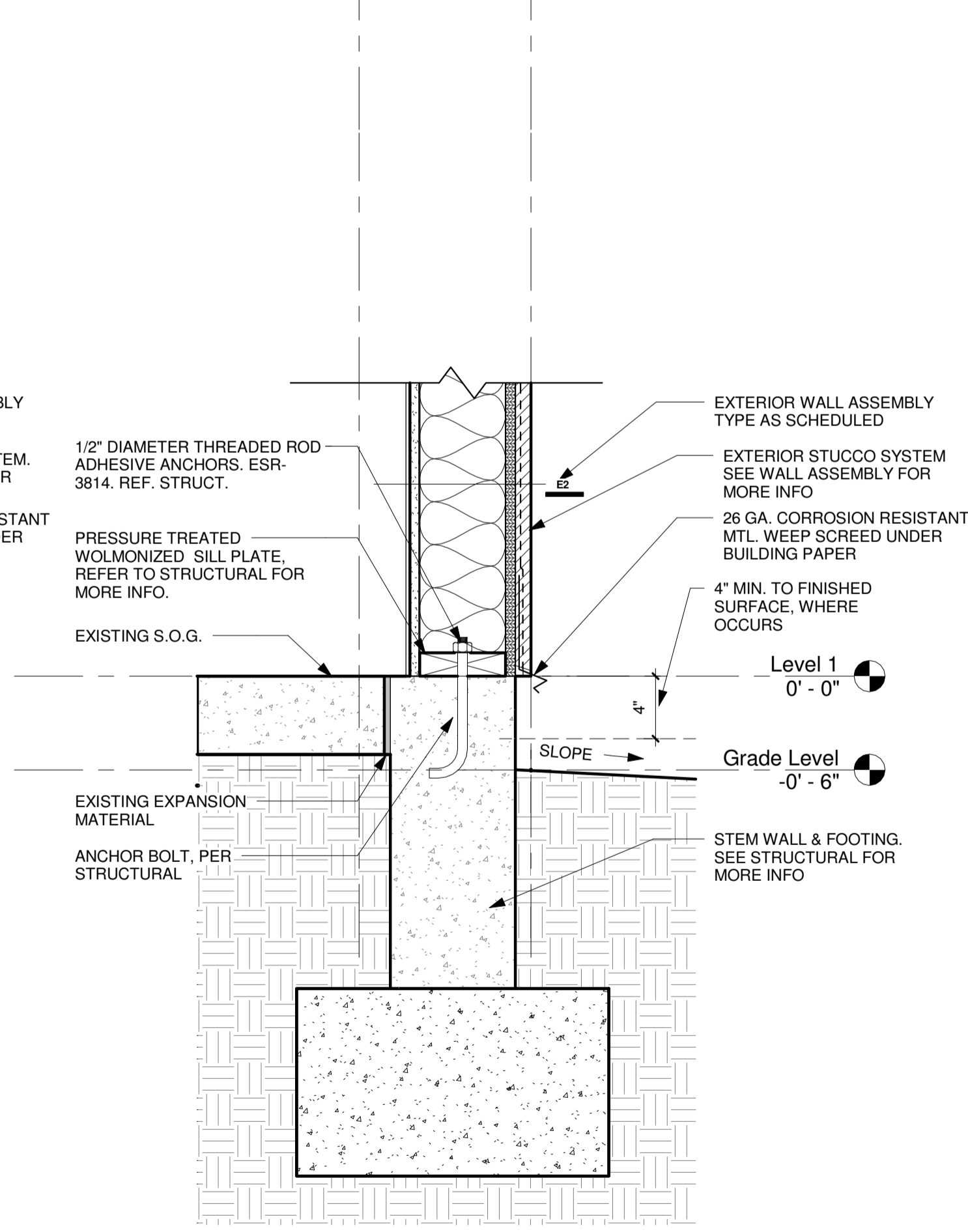
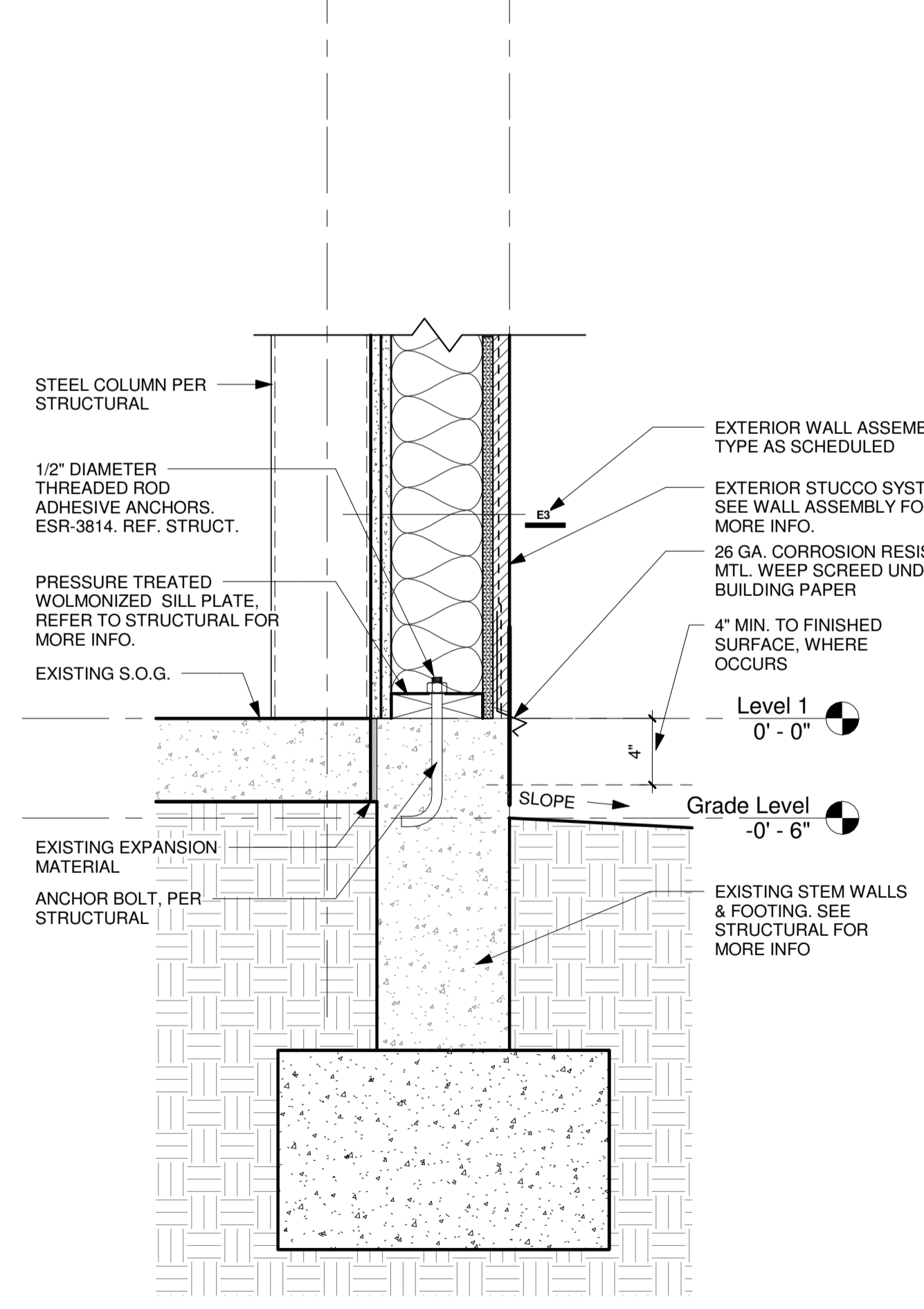
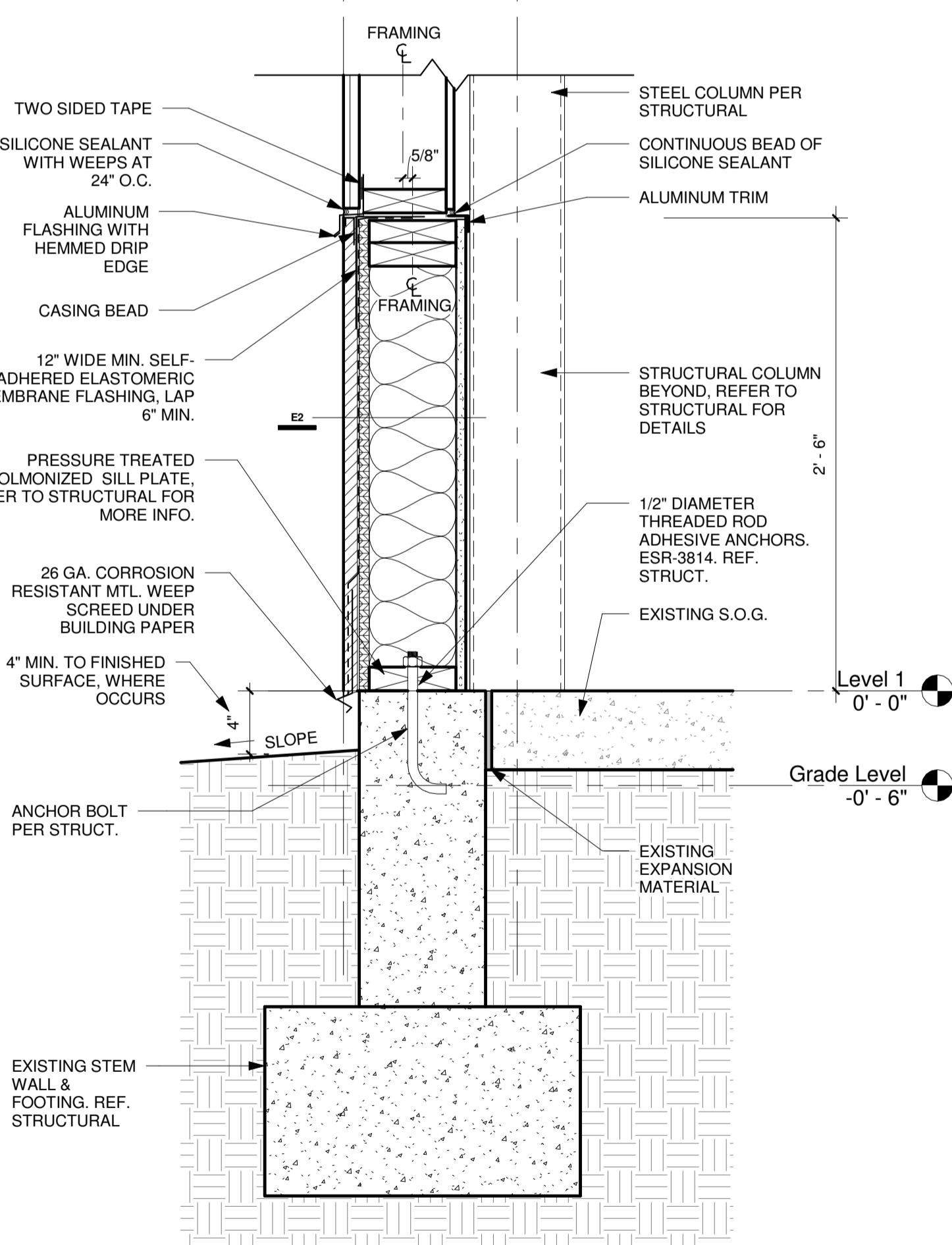
3 SECTION AT POLYCARBONATE WALL  
 1 1/2" = 1'-0"



1 SECTION AT NON-RATED STUCCO WALL  
 1 1/2" = 1'-0"



2 SECTION AT RATED STUCCO WALL  
 1 1/2" = 1'-0"



ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
 THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
 DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**

**OWNER**  
 SUPERLUXE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD+C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD, SUITE 200,  
 SCOTTSDALE, AZ 85251  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPSAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPSAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@MPECONSULT.COM  
 (P) 602.388.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Expires 6.30.19

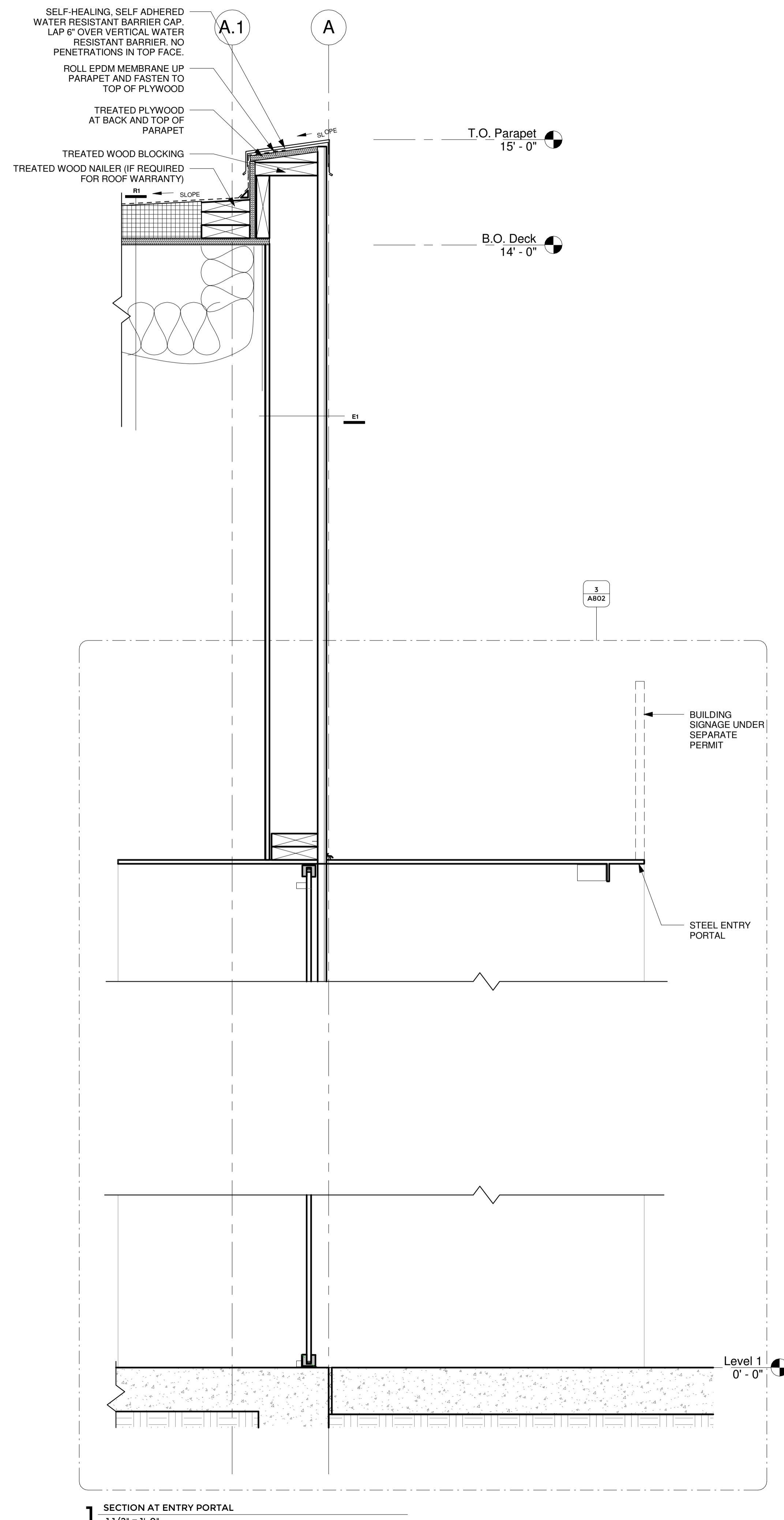
Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

**SECTION DETAILS**

Date 03/06/19

**A401**

Scale 1 1/2" = 1'-0"



SELF CERTIFIED BY: *[Signature]* DATE: 03/06/2019  
 DONALD ANDREWS CERTIFICATE #45  
 - PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
 - PLANS ARE COMPLETE.  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
 THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
 DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**

**OWNER**  
 SUPERLUXE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD-C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD, SUITE 200,  
 SCOTTSDALE, AZ 85251  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPSAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPSAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@MPECONSULT.COM  
 (P) 602.388.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Expires 6.30.19

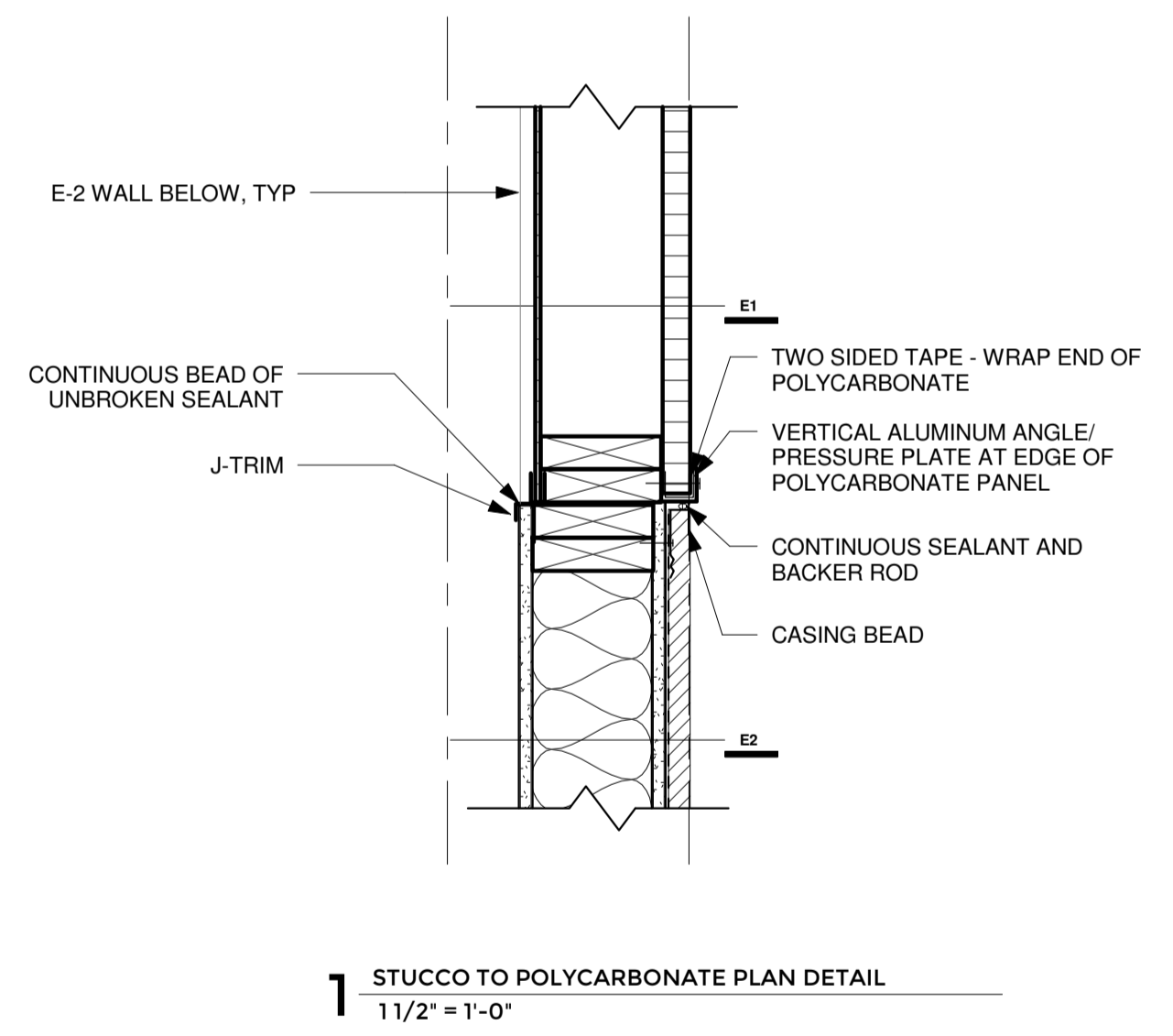
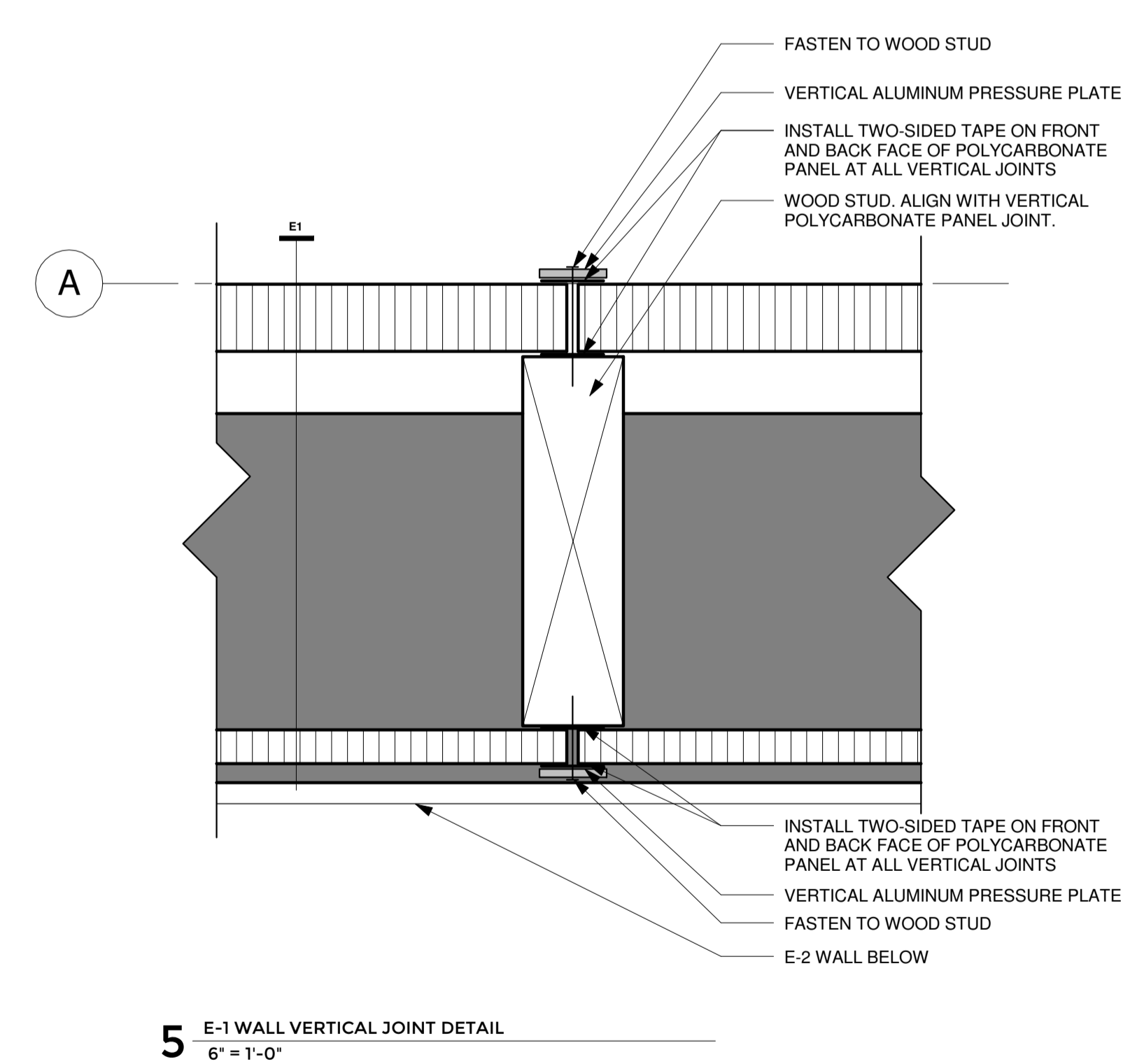
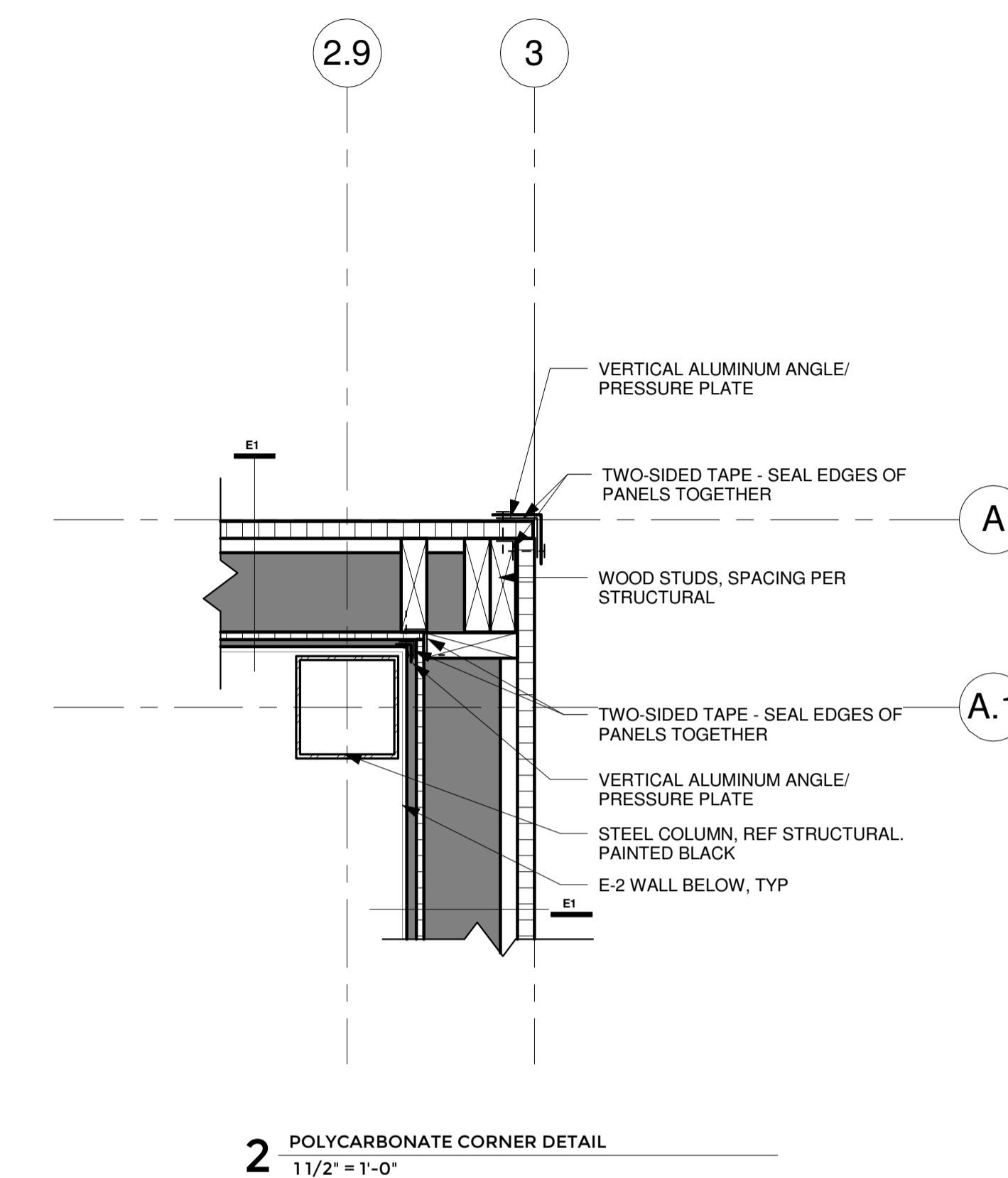
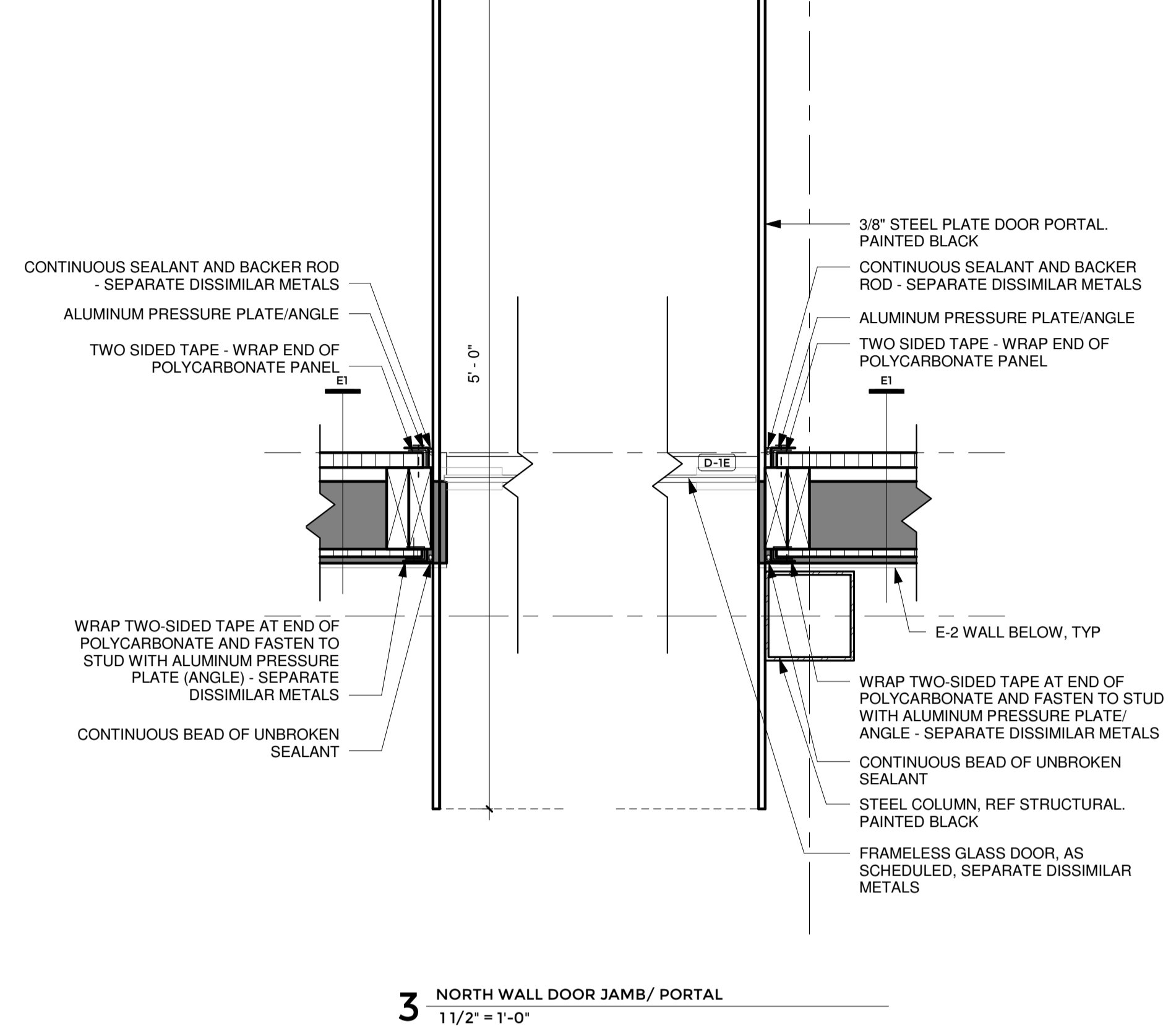
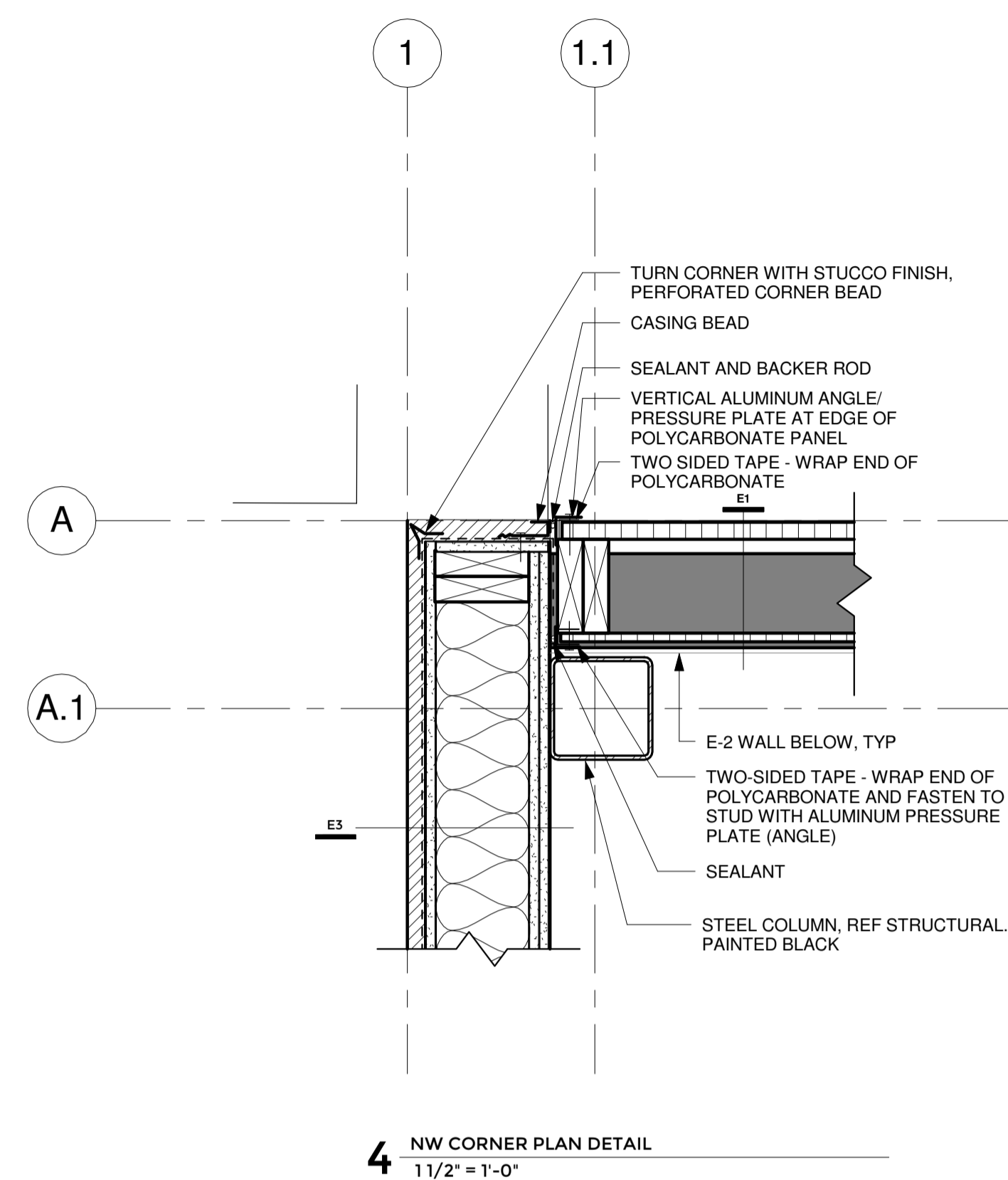
Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

**PLAN DETAILS**

Date 03/06/19

**A500**

Scale As indicated

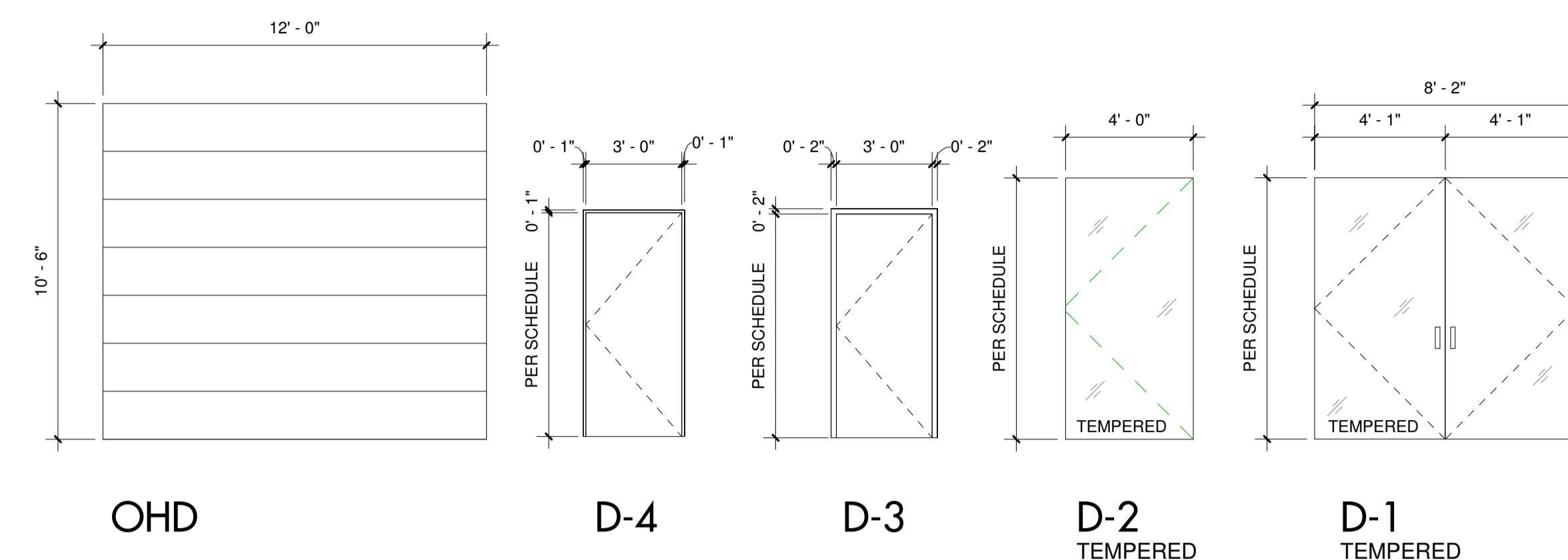


SELF CERTIFIED BY: *[Signature]* DATE: 03/06/2019  
 DONALD ANDREWS CERTIFICATE #45

- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
 - PLANS ARE COMPLETE.  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36

DOOR SCHEDULE										
DOOR NUMBER	DESCRIPTION	TYPE	HARDWARE FUNCTION	HANDING	MATERIAL	FRAME		WIDTH	HEIGHT	FIRE RATING
						FRAME FINISH	FRAME TYPE			
D-1E	8'-0" WIDE DOUBLE GLASS DOOR	D-1	ENTRY / EGRESS	RHR, LHR	TEMPERED GLASS	-	FRAMELESS	8' - 2"	8' - 0"	NOT RATED
D-2E	3'-0" GLASS DOOR	D-2	ENTRY / EGRESS	RHR	TEMPERED GLASS	-	FRAMELESS	4' - 0"	8' - 0"	NOT RATED
D-3E	EXTERIOR INSULATED FLUSH	D-3	ENTRY / EGRESS	LHR	HM, PAINT BY MFGR	PAINT BY MFGR	HOLLOW METAL	3' - 0"	7' - 0"	NOT RATED
D-4E	EXTERIOR INSULATED FLUSH	D-3	ENTRY / EGRESS	LHR	HM, PAINT BY MFGR	PAINT BY MFGR	HOLLOW METAL	3' - 0"	7' - 0"	NOT RATED
D-5E	EXTERIOR INSULATED FLUSH	D-3	ENTRY / EGRESS	LHR	HM, PAINT BY MFGR	PAINT BY MFGR	HOLLOW METAL	3' - 0"	7' - 0"	NOT RATED
D-6	INTERIOR FLUSH SOLID CORE HARDBOARD	D-4	PASSAGE	RHR	WD, PAINT BY MFGR	-	KERF (FRAMELESS)	3' - 0"	7' - 0"	NOT RATED
D-7	INTERIOR FLUSH SOLID CORE HARDBOARD	D-3	PASSAGE	LH	WD, PAINT BY MFGR	PAINT BY MFGR	SOLID WOOD	3' - 0"	7' - 0"	NOT RATED
D-8	INTERIOR FLUSH SOLID CORE HARDBOARD	D-3	PRIVACY	RH	WD, PAINT BY MFGR	PAINT BY MFGR	SOLID WOOD	3' - 0"	7' - 0"	NOT RATED
D-9	INTERIOR FLUSH SOLID CORE HARDBOARD	D-3	PRIVACY	LH	WD, PAINT BY MFGR	PAINT BY MFGR	SOLID WOOD	3' - 0"	7' - 0"	NOT RATED
D-10	INTERIOR FLUSH SOLID CORE HARDBOARD	D-4	PRIVACY	RH	WD, PAINT BY MFGR	-	KERF (FRAMELESS)	3' - 0"	7' - 0"	NOT RATED
OHD-1	OVERHEAD DOOR	OHD	LOCKABLE, GARAGE OPENER	-	WD, PAINT BY MFGR	PAINT BY MFGR	METAL	12' - 0"	10' - 6"	NOT RATED

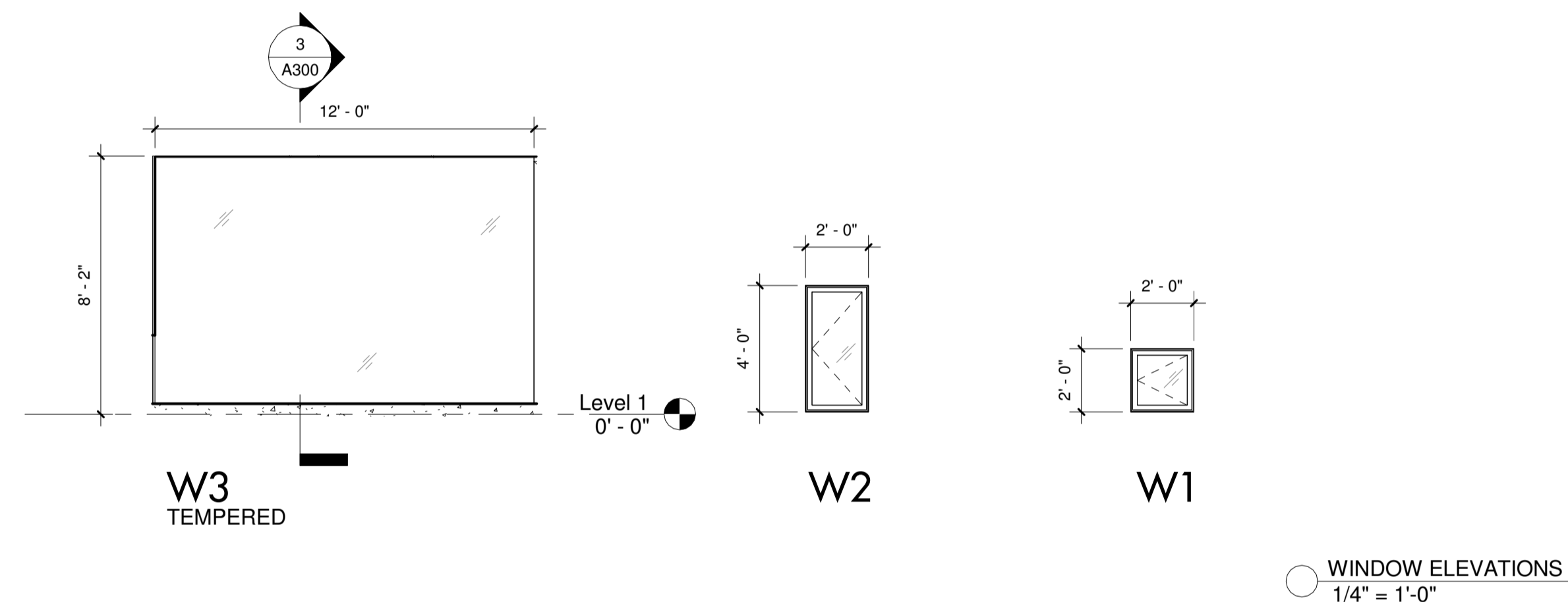


- NOTE:**
- ALL DOORS MUST OPERATE USING FIVE LBS OR LESS PRESSURE. HARDWARE TO OPERATE WITHOUT PINCHING, TIGHT GRASPING, OR TWISTING OF THE WRIST. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
  - DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34" MIN. AND 48" MAX ABOVE THE F.F. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT.
  - BOLT LOCKS, IF PROVIDED, MUST COMPLY WITH 1010.1.9.5
  5. ADD PANIC HARDWARE AT ALL EGRESS DOORS

**DOOR SCHEDULE AND ELEVATIONS**

WINDOW SCHEDULE					
WINDOW NUMBER	GLASS MATERIAL	WIDTH	HEIGHT	Sill Height	COMMENTS
W-1	CLEAR GLASS	2' - 0"	2' - 0"	4' - 0"	CASEMENT
W-1	CLEAR GLASS	2' - 0"	2' - 0"	9' - 6"	CASEMENT
W-1	CLEAR GLASS	2' - 0"	2' - 0"	9' - 6"	CASEMENT
W-1	CLEAR GLASS	2' - 0"	2' - 0"	3' - 0"	CASEMENT
W-1	CLEAR GLASS	2' - 0"	2' - 0"	6' - 6"	CASEMENT
W-1	CLEAR GLASS	2' - 0"	2' - 0"	4' - 6"	CASEMENT
W-2	CLEAR GLASS	2' - 0"	4' - 0"	3' - 3"	CASEMENT
W-3	CLEAR TEMPERED GLASS	12' - 0"	8' - 0"	0' - 0"	FIXED, FRAMELESS

ALL GLASS MUST MEET CRITERIA OUTLINED IN IECC 2018 AND IBC 2018.



**WINDOW SCHEDULE AND ELEVATIONS**

**FINISH KEY AND SCHEDULE**

ROOM FINISH SCHEDULE						
ROOM NO.	ROOM NAME	NET AREA	WALL FINISH	FLOOR FINISH	BASE FINISH	CEILING FINISH
01	RETAIL AREA	1826 SF	PT-1/POLYCARB	CONC-1	WD-1, REF. DETAIL	OPEN TO STRUCTURE/ SCRM
02	STOCK ROOM	1330 SF	PT-1	CONC-2	WD-1, REF. DETAIL	OPEN TO STRUCTURE/ SCRM
03	OFFICE	127 SF	PT-1	CONC-2	WD-1, REF. DETAIL	OPEN TO STRUCTURE/ SCRM
04	NEW TOILET	60 SF	PT-2	CONC-2	WD-1, REF. DETAIL	OPEN TO STRUCTURE/ SCRM
05	EXIST. TOILET	57 SF	PT-2	CONC-2	WD-1, REF. DETAIL	OPEN TO STRUCTURE/ SCRM
06	HALLWAY	117 SF	PT-1	CONC-2	WD-1, REF. DETAIL	OPEN TO STRUCTURE/ SCRM

**FINISH KEY**

- PT-1 PAINT FINISH, INTERIOR, COLOR TBD
- PT-2 PAINT FINISH, INTERIOR SEMI-GLOSS, COLOR TBD
- CONC-1 EXPOSED CONCRETE FLOOR, LEVEL, GRIND, AND POLISH
- CONC-2 EXPOSED CONCRETE FLOOR
- WD-1 WOOD, PAINT FINISH
- POLYCARB 6MM POLYGLAL OR EQUAL, CLASS A PER ASTM E84 W/ FLAME SPREAD OF 10 AND SMOKE DEVELOPED INDEX LESS THAN 450. MINIMUM REQ'D IS CLASS C PER IBC TABLE 803.13

SELF CERTIFIED BY: *[Signature]* DATE: 03/06/2019  
DONALD ANDREWS CERTIFICATE #45

- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
- PLANS ARE COMPLETE.  
- THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
SDEV #1800276  
PAPP #1806619  
PRLC  
QS Q16-36

ERWIN ARCHITECTURE & DEVELOPMENT LLC. ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.

THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC. ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.

DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC. RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**

**OWNER**  
SUPERLUKE SCREEN PRINTING  
JONATHAN PITT  
(E) JON@THEWANDERIST.COM  
(P) 480.247.6653

**ARCHITECT**  
ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
WILLIAM ERWIN, AIA, LEED AP BD-C  
(E) WILL@ERWINARCHITECTURE.COM  
(P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
ANDREWS DESIGN GROUP INC.  
DON ANDREWS JR.  
(E) DON@ADGARCH.NET  
(P) 480.894.3478

**CIVIL**  
3 ENGINEERING  
DAN MANN, P.E.  
6370 E. THOMAS RD, SUITE 200,  
SCOTTSDALE, AZ 85251  
(E) DAN@3ENGINEERING.COM  
(P) 602.334.4387

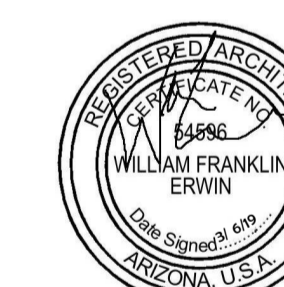
**STRUCTURAL**  
UNITED STRUCTURAL DESIGN  
DAVID GRAPSAS, P.E., S.E.  
2058 S. DOBSON ROAD, SUITE 10  
MESA, AZ 85202  
(E) DGRAPSAS@UNITEDSTR.COM  
(P) 480.382.9768

**MEP**  
PETERSON ENGINEERING  
DAVID MCKERCHER  
7201 N. DREAMY DRAW DRIVE, SUITE 200  
PHOENIX, AZ 85020  
(E) DAMEM@MPECCONSULT.COM  
(P) 602.388.1716

**LANDSCAPE**  
NORRIS DESIGN  
JOEL THOMAS  
(E) JTHOMAS@NORRIS-DESIGN.COM  
(P) 512.900.7888

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



Owner JONATHAN PITT  
Proj. Name WANDERIST OFFICE & RETAIL

**DOOR, WINDOW, AND FINISH SCHEDULES**

Date 03/06/19

**A600**

Scale 1/4" = 1'-0"

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
 THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
 DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

CONTACTS:

**OWNER**  
 SUPERLUKE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD+C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS, JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD, SUITE 200,  
 SCOTTSDALE, AZ 85251  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

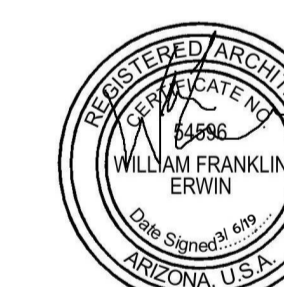
**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPSAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPSAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@PECONSULT.COM  
 (P) 602.388.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

SHEET ISSUE/REV:

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



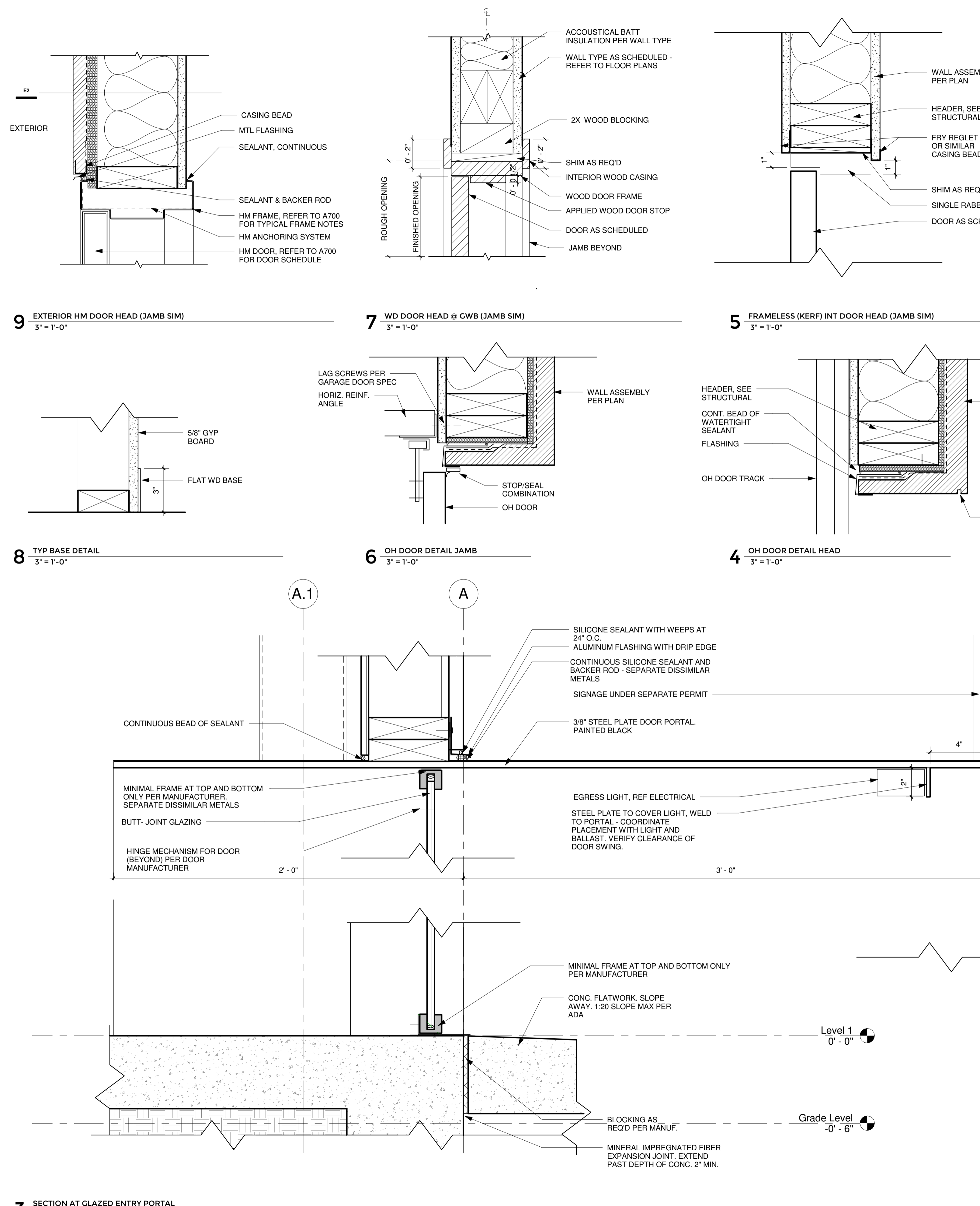
Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

DOOR AND WINDOW DETAILS

Date 03/06/19

A802

Scale 3" = 1'-0"



SELF CERTIFIED BY: *[Signature]* DATE: 03/06/2019  
 DONALD ANDREWS CERTIFICATE #45  
 - PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
 - PLANS ARE COMPLETE.  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36

City of Phoenix Plan #: 1901783-LPSC Date: 03/12/19

City of Phoenix Plan #: 1901783-LPSC Date: 03/12/19



ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.  
 THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.  
 DO NOT DISTRIBUTE, MODIFY, OR PUBLISH THESE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**

**OWNER**  
 SUPERLUXE SCREEN PRINTING  
 JONATHAN PITT  
 (E) JON@THEWANDERIST.COM  
 (P) 480.247.6653

**ARCHITECT**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA, LEED AP BD+C  
 (E) WILL@ERWINARCHITECTURE.COM  
 (P) 602.677.8372

**SELF-CERTIFIED ARCHITECT**  
 ANDREWS DESIGN GROUP INC.  
 DON ANDREWS, JR.  
 (E) DON@ADGARCH.NET  
 (P) 480.894.3478

**CIVIL**  
 3 ENGINEERING  
 DAN MANN, P.E.  
 6370 E. THOMAS RD., SUITE 200,  
 SCOTTSDALE, AZ 85251  
 (E) DAN@3ENGINEERING.COM  
 (P) 602.334.4387

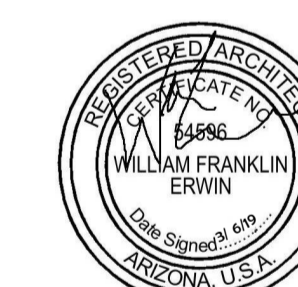
**STRUCTURAL**  
 UNITED STRUCTURAL DESIGN  
 DAVID GRAPSAS, P.E., S.E.  
 2058 S. DOBSON ROAD, SUITE 10  
 MESA, AZ 85202  
 (E) DGRAPSAS@UNITEDSTR.COM  
 (P) 480.382.9768

**MEP**  
 PETERSON ENGINEERING  
 DAVID MCKERCHER  
 7201 N. DREAMY DRAW DRIVE, SUITE 200  
 PHOENIX, AZ 85020  
 (E) DAMEM@MPECONSULT.COM  
 (P) 602.388.1716

**LANDSCAPE**  
 NORRIS DESIGN  
 JOEL THOMAS  
 (E) JTHOMAS@NORRIS-DESIGN.COM  
 (P) 512.900.7888

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
-	PRE-APP MTG	10.10.18
-	MINOR SITE PLAN	01.09.19
-	CITY SUBMITTAL	03.06.19



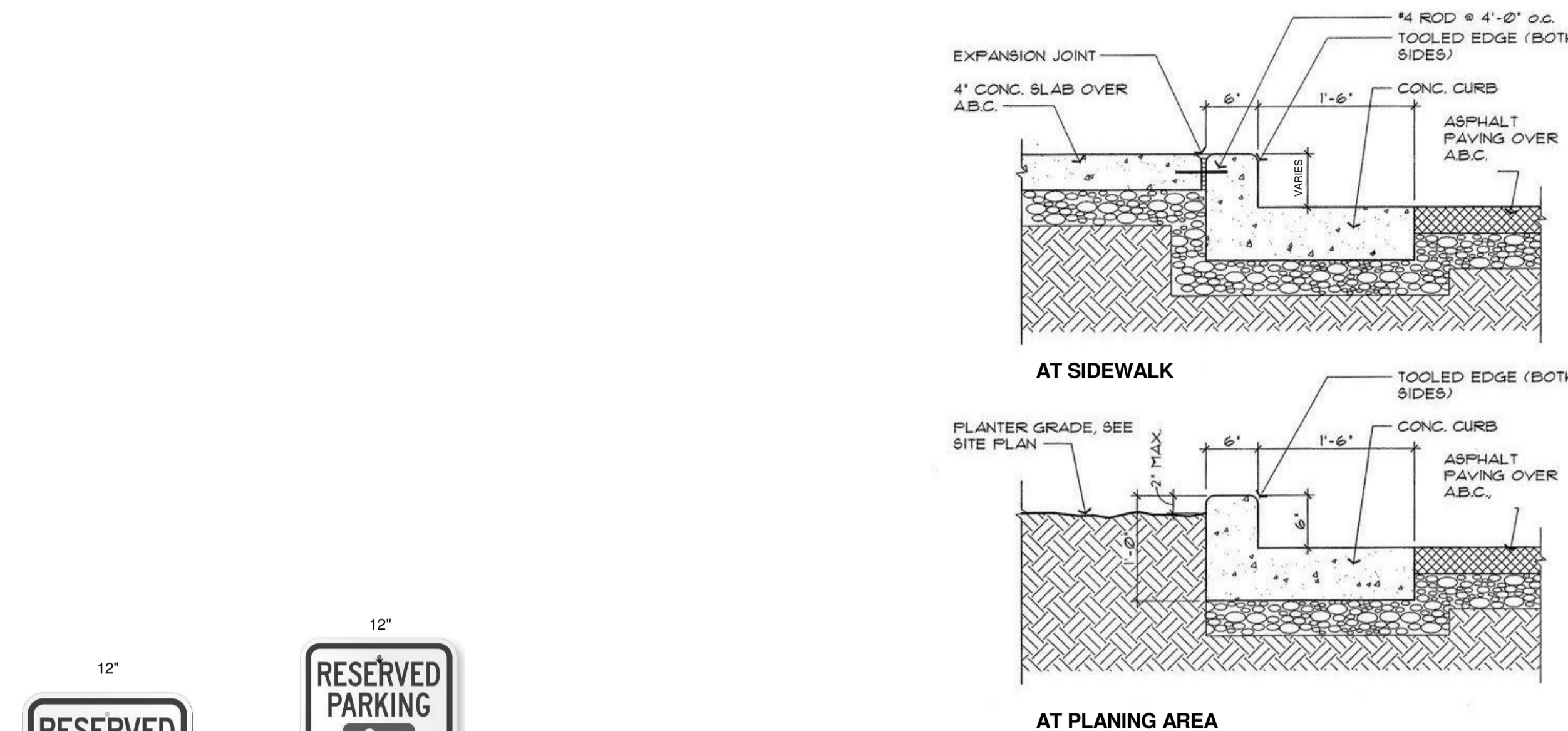
Owner JONATHAN PITT  
 Proj. Name WANDERIST OFFICE & RETAIL

**MISC. DETAILS**

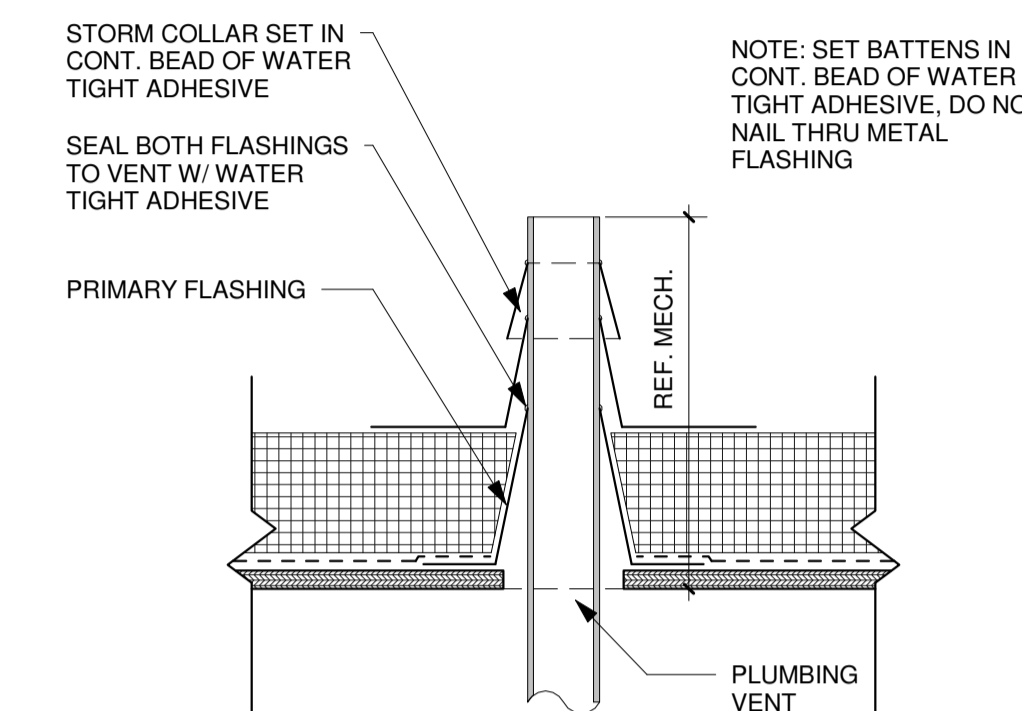
Date 03/06/19

**A803**

Scale As indicated



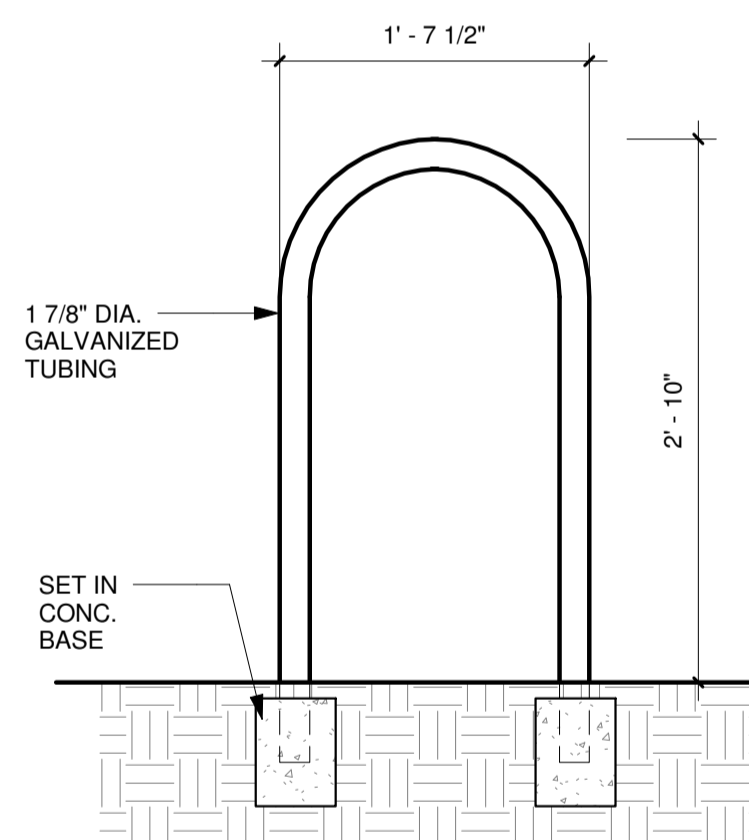
**3 CURB DETAILS**  
 1" = 1'-0"



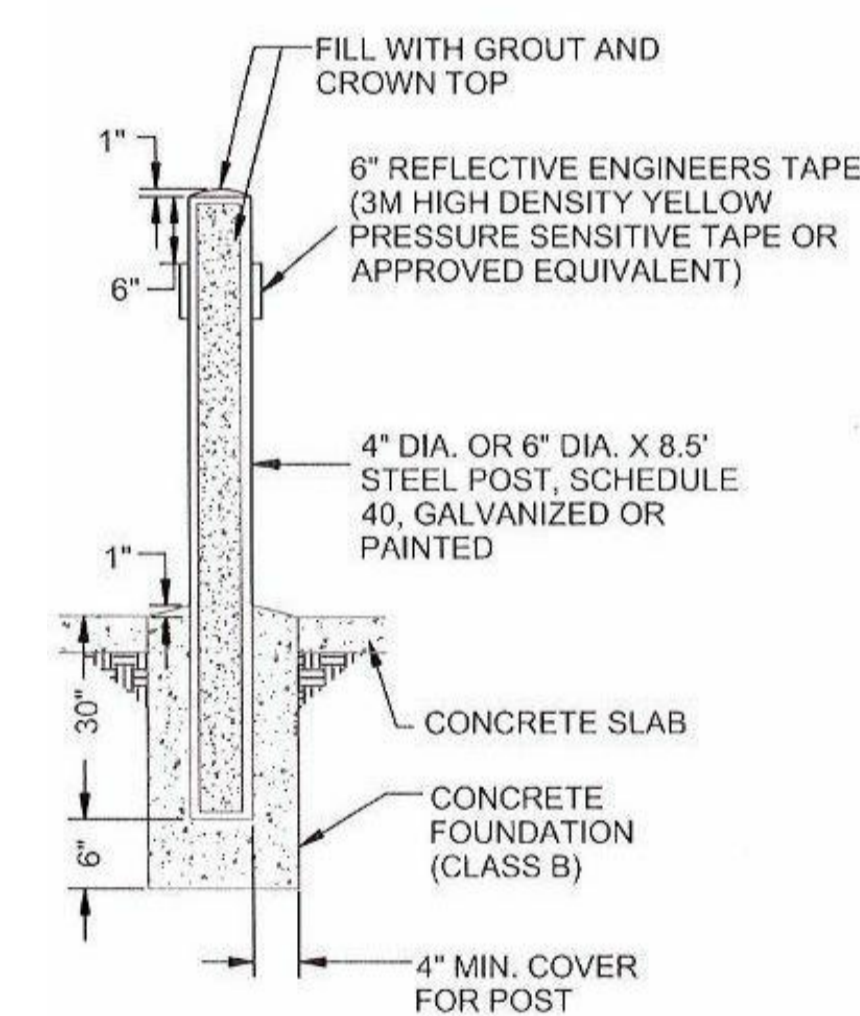
**1 PLUMBING VENT DETAIL**  
 1 1/2" = 1'-0"



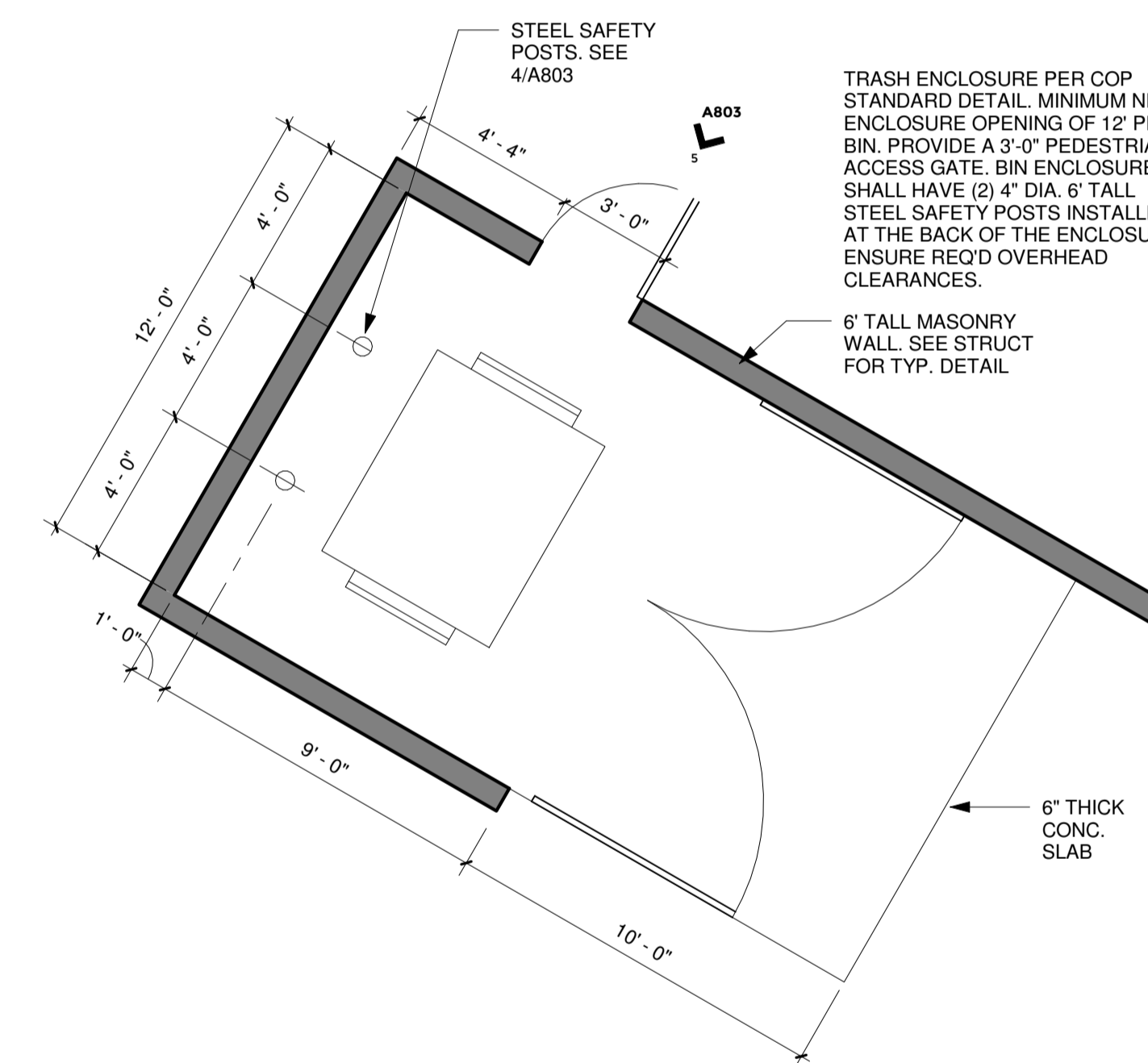
**8 ACCESSIBLE PARKING SIGNS**  
 1 1/2" = 1'-0"



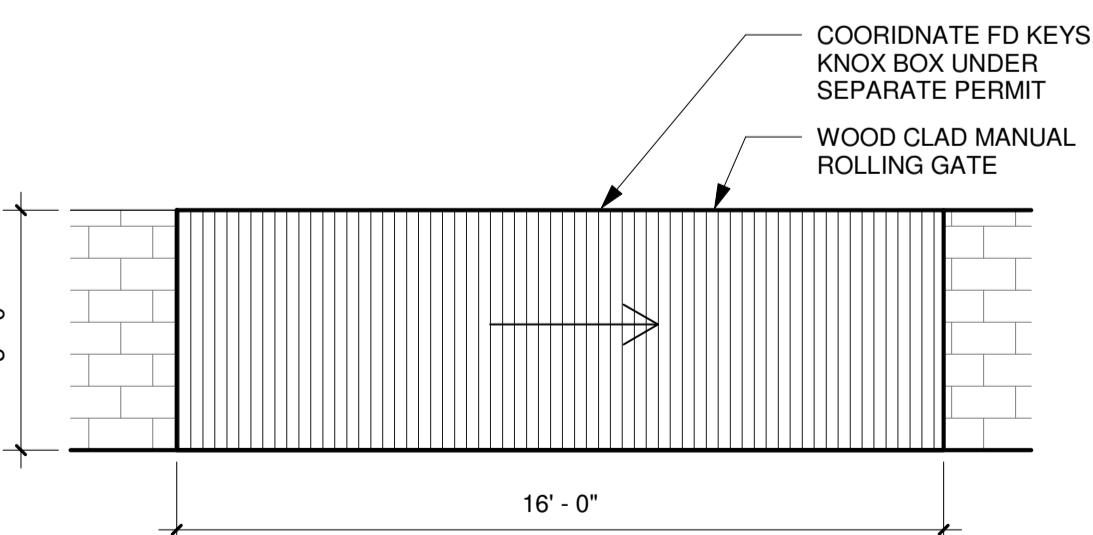
**7 BIKE RACK DETAIL**  
 1" = 1'-0"



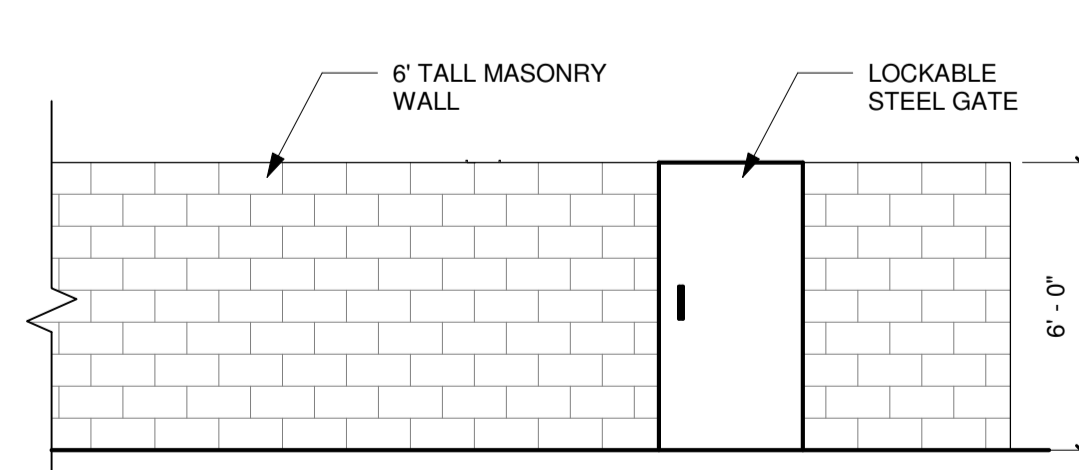
**4 PIPE BOLLARD DETAIL**  
 1" = 1'-0"



**2 EN-FP @ TRASH**  
 1/4" = 1'-0"



**6 ROLLING GATE ELEV**  
 1/4" = 1'-0"



**5 TRASH ENCLOSURE NORTH ELEV**  
 1/4" = 1'-0"

SELF CERTIFIED BY: *[Signature]* DATE: 03/06/2019  
 DONALD ANDREWS CERTIFICATE #45

- PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.  
 - PLANS ARE COMPLETE.  
 - THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PHOENIX BUILDING CONSTRUCTION CODE AND ALL OTHER APPLICABLE LAWS.

KIVA #18-1372  
 SDEV #1800276  
 PAPP #1806619  
 PRLC  
 QS Q16-36